

1570 / 1580

WATER STREET



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INTRODUCTION



SIP & STAY AWHILE AT

THE OKANAGAN AXIS

A DOWNTOWN CELEBRATION OF
ALL THAT THE VALLEY HAS TO OFFER

SURROUNDED BY JAW-DROPPING NATURAL BEAUTY AND SERVING AS AN IDEAL PLACE TO EXPLORE SO MANY INCREDIBLE WINERIES UP AND DOWN THE LENGTH OF THE VALLEY, THIS HOTEL EMBRACES THE FULL SPECTRUM OF PLACE TO BECOME MORE THAN A “KELOWNA HOTEL.” THIS IS AN EYE-OPENING HOMAGE TO TERROIR: A LOVE LETTER TO THE BOUNTY OF THE OKANAGAN.

THIS HOTEL WILL BRING A DIFFERENT TYPE OF CLIENTELE TO THE CITY. THESE EXPERIENCED TRAVELERS, CURRENTLY TRAVELING ELSEWHERE, HAVE A SHARED LOVE FOR WINE AND THE CULINARY ARTS, PAIRED WITH ELEVATED TASTE AND HIGH EXPECTATIONS OF A LUXURIOUS HOSPITALITY EXPERIENCE. THIS HOTEL UNLOCKS AN ENTIRELY NEW TOURIST DEMOGRAPHIC WITH AN ELEVATED OFFERING, FIT FOR A GLOBAL TRAVELER.

A SHOWCASE OF EPICUREAN EXCELLENCE

INTIMATE & UNFORGETTABLE

A WIDER LENS THAN YOUR TYPICAL CITY STAY

PROJECT SUMMARY

MCKINLEY STUDIOS, REPRESENTING MARK ANTHONY GROUP, IS EXCITED TO PRESENT A PROPOSAL FOR THE DEVELOPMENT OF A LUXURY BOUTIQUE HOTEL AND VIBRANT RESTAURANT AT 1570/1580 WATER STREET. SITUATED AT A PIVOTAL INTERSECTION IN KELOWNA'S HISTORIC DOWNTOWN, THIS PROJECT AIMS TO SEAMLESSLY INTEGRATE INTO THE CITY'S EVOLVING LANDSCAPE, REPRESENTING ALL THAT THE OKANAGAN HAS TO OFFER.

OUR VISION IS TO CREATE A DYNAMIC SPACE THAT SERVES AS A BEACON OF THE REGION'S HOSPITALITY, CATERING TO BOTH RESIDENTS AND VISITORS TO THE OKANAGAN VALLEY. THE 12-STORY, 72 ROOM BOUTIQUE HOTEL WILL PROVIDE A MUCH-NEEDED UPSCALE DESTINATION THAT IS NEW TO THE KELOWNA MARKET. FEATURING AN ICONIC DINING EXPERIENCE AND ROOFTOP LOUNGE WITH ACCESS TO BREATHTAKING VIEWS, THE HOTEL WILL BECOME THE PLACE TO BE, REFLECTING THE SPIRIT AND VIBRANCY OF THE OKANAGAN'S RENOWNED WINE COUNTRY, BOLSTERED BY MARK ANTHONY GROUP'S DEEP CULINARY EXPERTISE.

THE DESIGN CONCEPT CELEBRATES THE EXISTING HERITAGE FACADE WHILE INTRODUCING A FRESH ARCHITECTURAL LANGUAGE IN A MANNER THAT IS BOTH SENSITIVE AND CONTEMPORARY.

THE PODIUM EMPHASIZES POROSITY AND CONNECTION TO ACTIVATE THE PEDESTRIAN REALM. THE NEW FACADE ABOVE INTRODUCES A NEW MATERIALITY AND HOSPITALITY-DRIVEN ARCHITECTURAL LANGUAGE TO THE BLOCK, A NOD TO THE FUTURE OF KELOWNA'S VIBRANT DOWNTOWN.

THIS SPECIAL PROJECT WILL SURELY BECOME A DOWNTOWN DESTINATION. IT IS TRULY A LANDMARK OPPORTUNITY TO CONTINUE TO TELL THE STORY OF BOTH THE PAST AND FUTURE OF KELOWNA AND THE OKANAGAN AXIS.



BUILDING ON EXISTING
CULINARY EXPERTISE



A DOWNTOWN DESTINATION THAT OFFERS A
VALLEY-WIDE SHOWCASE



LIFESTYLE LUXURY
BEYOND EXPECTATIONS



02/

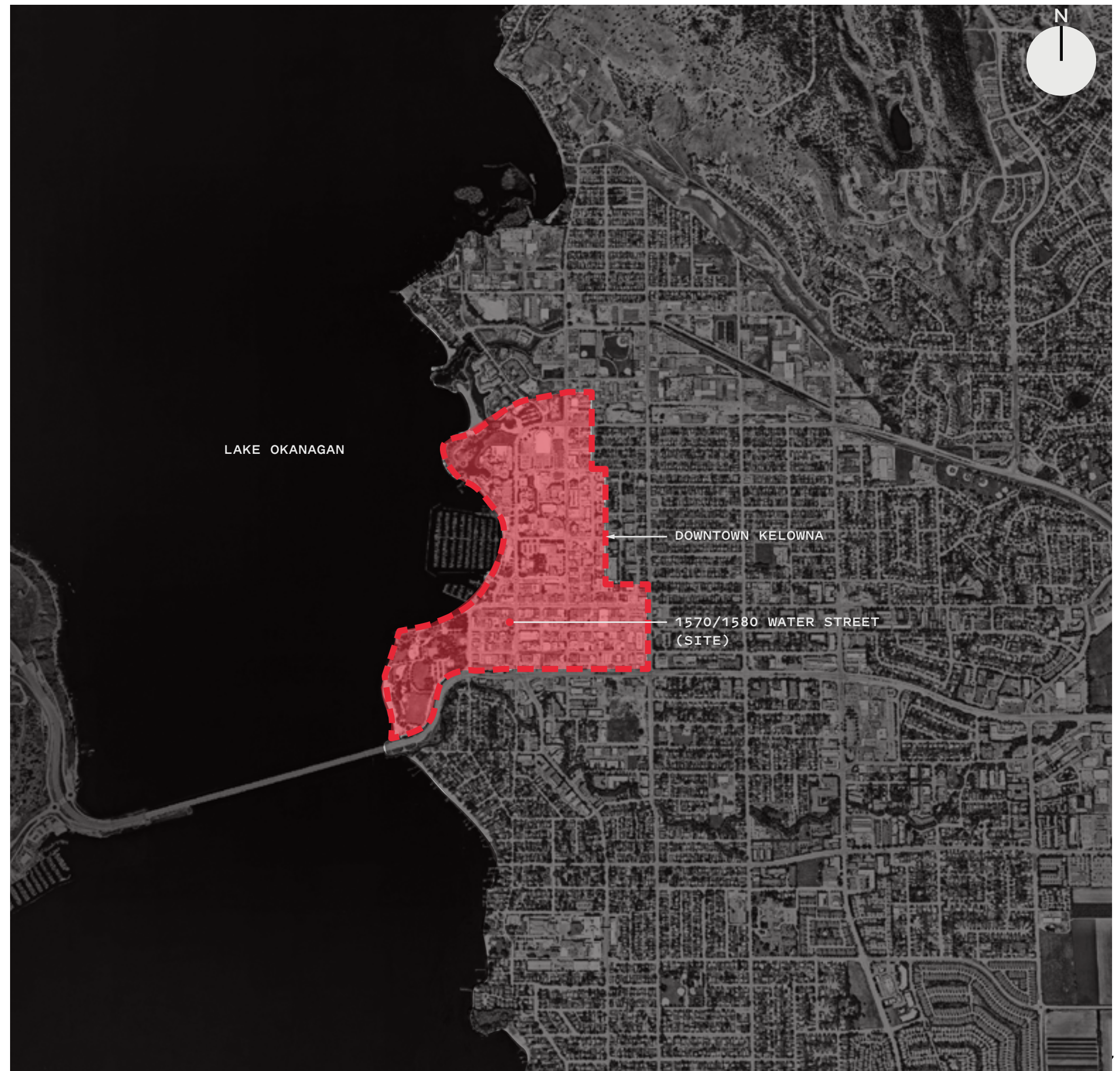
SITE & CONTEXT

AN EXCLUSIVE LOCATION

THE CITY OF KELOWNA'S GROWTH PLAN INCLUDES A TRANSITION TO AN INCREASINGLY URBAN AND DYNAMIC CITY, WITH THE DOWNTOWN TRANSFORMING WITH TALLER AND DENSER ARCHITECTURE FORM.

1570/1580 WATER STREET IS A PRIME LOCATION FOR A HOTEL, JUST BLOCKS FROM LAKE OKANAGAN AND SURROUNDED BY LIVELY RESTAURANTS.

LOOKING TO THE FUTURE, A LUXURY HOTEL IS THE PERFECT AMENITY TO THE SURROUNDING AREA WHICH IS ZONED TO SUPPORT HIGH-DENSITY MIXED-USE, INCLUDING FINANCIAL, RETAIL, ENTERTAINMENT, GOVERNMENTAL, AND CIVIC USES. AN ICONIC HOTEL IS A KEY INGREDIENT TO THE CULTURAL CORE OF THE CITY.



CONTEXT PLAN

THE SITE INCLUDES TWO BUILDINGS OF HISTORIC SIGNIFICANCE AND HERITAGE VALUE: THE COURIER BUILDING CONSTRUCTED IN STAGES BETWEEN 1908 AND 1939, AND THE BUILDING AT 1570 WATER WHICH PREVIOUSLY HELD CLOSE ASSOCIATIONS WITH THE CHINESE-CANADIAN COMMUNITY IN KELOWNA. LOCATED ACROSS THE STREET FROM THE HISTORIC FIRE HALL, THE SITE IS A LANDMARK OPPORTUNITY TO CONTINUE TO TELL THE STORY OF BOTH THE PAST AND FUTURE OF KELOWNA.

THE DESIGN TEAM WILL HIGHLIGHT THE CONTEXTUAL CHARACTER BY EXPLORING HOW TO INTEGRATE AND CELEBRATE THE EXISTING HERITAGE FACADE, HOW MATERIALITY CAN BE USED TO CONNECT WITH THE ADJACENT SITES IN A WAY THAT FEELS SENSITIVE AND ALSO CONTEMPORARY, AND HOW POROSITY AT GRADE CAN ENHANCE THE ACTIVITY OF THE PEDESTRIAN REALM. AT BOTH THE PODIUM AND THE ROOFTOP, INCORPORATING GREEN AND PROTECTING THE EXISTING TREES IS OF UTMOST IMPORTANCE.

THIS BUILDING SITS AT THE INTERSECTION OF THE HISTORIC DOWNTOWN AND INTENSE FUTURE DENSIFICATION. THE MASSING AND DESIGN LANGUAGE SHOULD BE COMPLEMENTARY TO BOTH CONDITIONS, CREATING A GRADIENT BETWEEN OLD AND NEW.



EXISTING SITE PHOTOS



03/

THE VISION

ARCHITECTURAL FORM

STARTING BY CELEBRATING THE PAST

THE HOTEL DESIGN BEGAN WITH A DETAILED ANALYSIS OF THE HISTORIC FACADES OF THE COURIER BUILDING (1580 WATER STREET) AND THE FORMER CHINESE RESTAURANT AND BOARDING HOUSE (1570 WATER). THESE TWO SEPARATE FACADES PRESENTED AN INTERESTING CHALLENGE IN INTEGRATING AND CONTRASTING THEM EFFECTIVELY. WE CAREFULLY CONSIDERED HOW TO INTEGRATE THE EXISTING FACADES WITH EACH OTHER AND WITH THE NEW FACADE ON LAWRENCE AVENUE, AS WELL AS THEIR RELATIONSHIP WITH THE PODIUM AND BUILDING ABOVE.

THE DESIGN TEAM ELECTED TO USE FAMILIAR PROPORTIONS OF THE EXISTING FACADE TO RESOLVE THE CHALLENGE OF INTEGRATION AND CONTRAST IN THE DESIGN OF THE NEW BUILDING. THE PROPOSED DESIGN COMPLETES THE BLOCK BY EXTENDING THE PROPORTIONS OF THE HERITAGE SKIN AROUND THE CORNER ON LAWRENCE AND ESTABLISHING A CONTINUOUS 2-STOREY DATUM THAT DISTINGUISHES THE PODIUM FROM THE NEW BUILDING ABOVE.

EXPLORING A NEW LANGUAGE

THE HOTEL FLOORS EMERGE FROM THE PODIUM AS A SOLID BLOCK, CARVED AWAY WITH IRREGULARITY TO CREATE AN ARTICULATED FACADE THAT BALANCES VIEWS WITH PRIVACY. THE MATERIALITY OF THE NEW HOTEL COMPONENT REFERENCES THE SOLIDITY OF THE HISTORIC PODIUM WHILE PROVIDING CONTRAST WITH ITS CONTEMPORARY SIMPLICITY.

THE PROGRAMME

THE PODIUM IS HOME TO THE HOTEL LOBBY, ACTIVATED “GATEWAY TO THE OKANAGAN” RETAIL CONCEPT, HOTEL AMENITY SPACE, AND BACK OF HOUSE OFF THE LANE. THE MAIN FLOOR GIVES DIRECT ACCESS TO LEVEL 2, WHICH HAS AN AMENITY SPA WITH WELLNESS SERVICES AVAILABLE TO BOTH HOTEL GUESTS AND THE PUBLIC. FROM THERE, FLOORS 3 THROUGH 10 ARE DEDICATED TO HOTEL ROOMS. FLOOR 11 HOSTS A SKY-RESTAURANT WITH ACCESS TO A ROOFTOP PAVILION AND PATIO.

PARKING IS CONSIDERED OFF-SITE, WE HAVE EXPLORED ALL OPTIONS TO FIT AN ADEQUATE PARKADE ON-SITE BUT DUE TO THE LIMITED SIZE OF THE SITE IT IS UNFORTUNATELY NOT FEASIBLE. WE LOOK FORWARD TO WORKING WITH THE CITY OF KELOWNA TO DETERMINE AN ALTERNATIVE PARKING SOLUTION AND MARK ANTHONY GROUP IS WILLING TO PAY A BOND TO SHOW OUR COMMITMENT TO THIS SOLUTION.

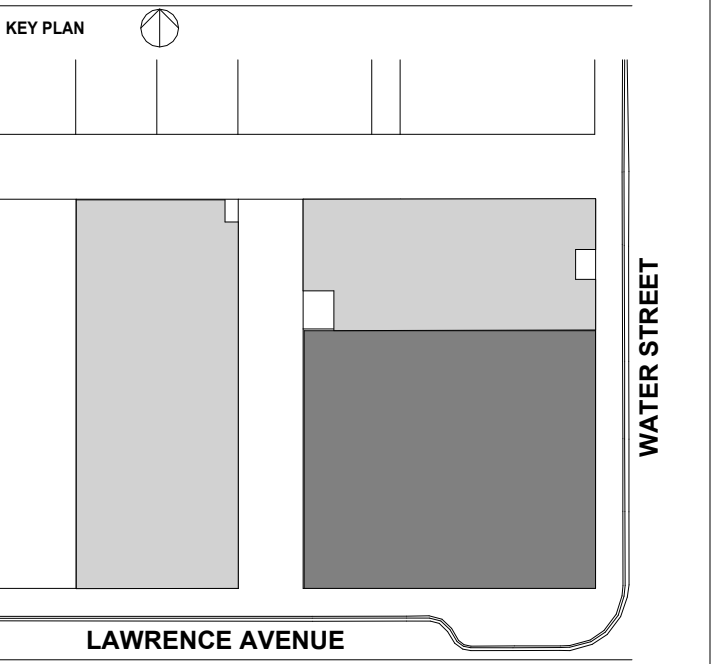






mckinley studios

NOTES
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ISSUED		DATE
ISSUED	DEVELOPMENT PERMIT	2024-03-15

REVISION		
NO	REVISION	DATE

SEAL

CLIENT

Mark Anthony Group

Client Address
 7480 North Transcona Rd
 Nanaimo, BC V9H 1Y0

PROJECT

Water Street

MUNICIPAL ADDRESS: 1270-1280 Water Street
 LEGAL ADDRESS: LOT 2, 2.6 and 0.1, 139 OSOYOOS DIVISION
 Kootenai, BC V1Y 1J7
 YALE DISTRICT PLAN KAP195

DRAWING TITLE

COVER

DRAWING INFORMATION

PROJECT NO	23041
STARTED	
SCALE	AS, CT, TN
DRAWN	886
CHECKED	
REVISION	SHEET



DP00.0

WATER STREET

issued for:

DEVELOPMENT PERMIT

MARCH 15, 2024

DP ARCHITECTURAL

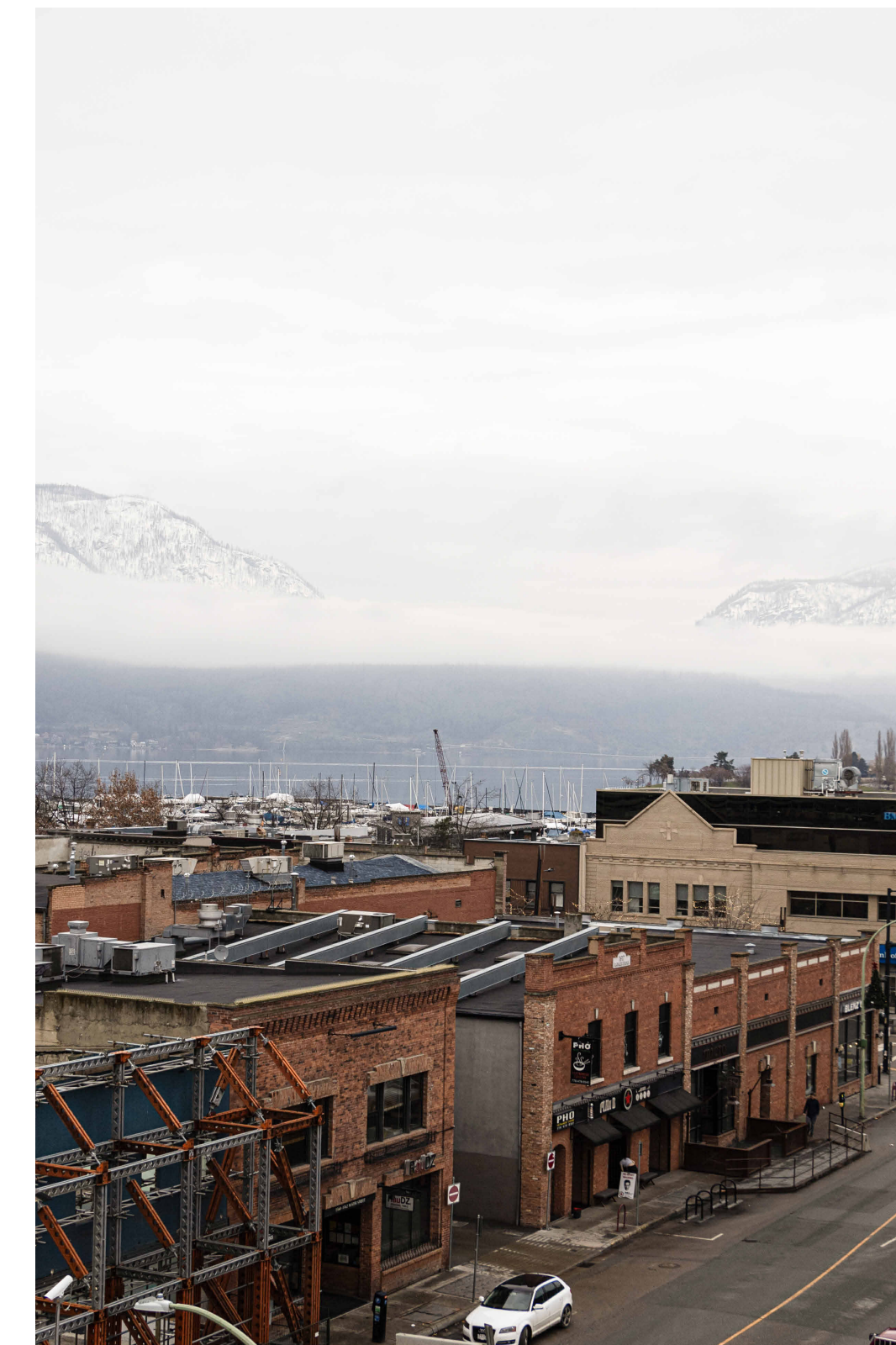
DP00.0	COVER
DP05.00	BYLAW REVIEW & SITE PHOTOS
DP10.00	SITE SURVEY
DP12.00	SITE PLAN
DP23.01	GROUND FLOOR PLAN
DP23.02	LEVEL 2 FLOOR PLAN
DP23.03	TYPICAL HOTEL FLOOR PLAN
DP23.07	LEVEL 11 FLOOR PLAN
DP23.08	LEVEL 12 TERRACE PLAN
DP23.09	ROOF PLAN
DP40.00	EXTERIOR ELEVATIONS
DP40.01	EXTERIOR ELEVATIONS
DP41.00	STREETSCAPE ELEVATIONS
DP70.00	RENDERINGS & MATERIAL PALETTE



CONTEXT MAP



EXISTING SITE PHOTOS



01/ WATER STREET FROM PARAKDE ROOFTOP 02/ EXISTING FOUNDATION & BACK OF EXISTING HISTORIC FACADE

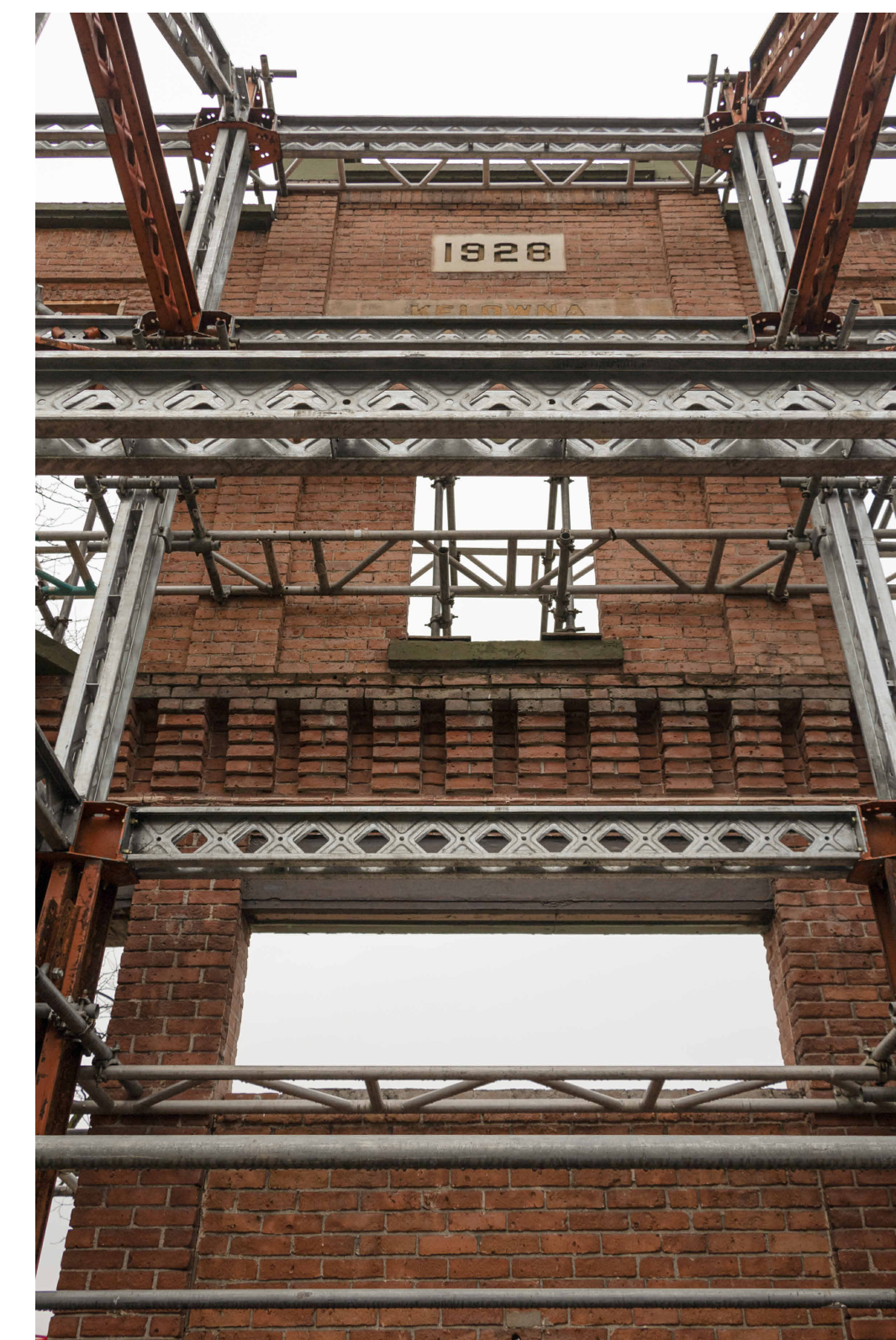
BYLAW REVIEW & DEVELOPMENT DATA

MUNICIPAL ADDRESS	1570/1580 WATER STREET, KELOWNA, BC V1Y1J7	
LEGAL ADDRESS	LOT 1,2,5 and 6 D.L.139 OSOYOS DIVISION YALE DISTRICT PLAN KAP1355	
ZONING	EXISTING	PROPOSED
CITY OF KELOWNA LAND USE BYLAW NO. 12375		
ZONING	UC-1	UC-1
SITE AREA	669 sqm (7200 sf)	669 sqm (7200 sf)
MAX. FAR	9.0	11.37
MAX. SITE COVERAGE	100%	100%
MAX. HEIGHT	22.0M / 6 STOREYS	48 M / 12 STOREYS
SETBACK REQUIREMENTS		
FRONT (WATER STREET)	0.0 M AT PODIUM, 3M ABOVE	0.0 M
REAR (LANE)	0.0 M AT PODIUM, 3M ABOVE	0.0 M
SIDE (LAURENCE AVE)	0.0 M AT PODIUM, 3M ABOVE	0.0 M
NO. OF HOTEL ROOMS	-	72 ROOMS
BUILDING AREAS	BUILDING AREAS	BUILDING AREAS
GROSS FLOOR AREA	6,021M2	7,610M2
FAR	9.0	11.37
VEHICLE PARKING REQUIREMENTS		
MIN. 0.8 STALLS PER HOTEL ROOM	TOTAL REQUIRED 58 STALLS	PARKADE OFFSITE WITH VALET SERVICE
BICYCLE PARKING REQUIREMENTS		
1.0 BIKE SPACE PER 20 SLEEPING UNITS	0	3



03/ EXISTING HISTORIC FACADE WITH TEMPORARY BRACING

04/ WATER STREET AT GRADE



05/ EXISTING HISTORIC FACADE UP CLOSE

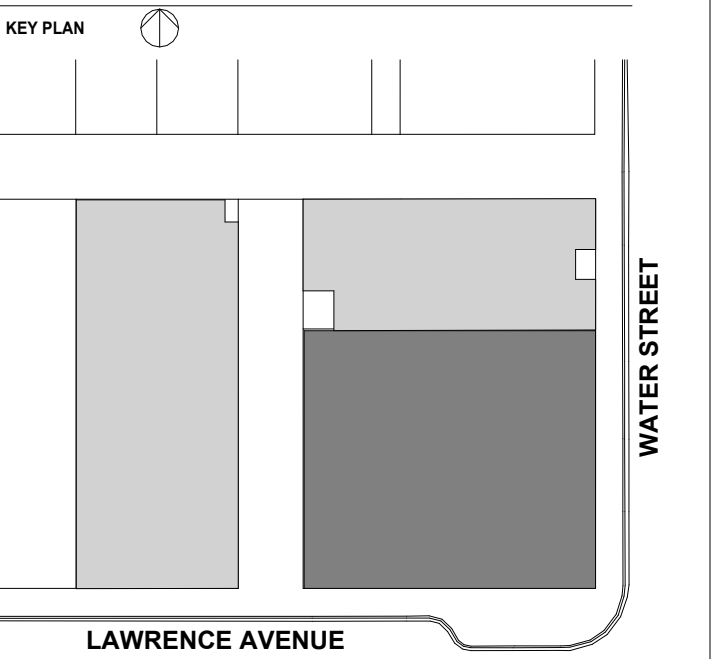
06/ BACK LANE

PRIME CONSULTANT
mckinley studios

555 - 110 WEST AVENUE SW
SUITE 100, 1ST FLOOR
VANCOUVER, BC V6A 1E1
604 275 2027

412 - 611 BERNARD STREET
SUITE 100, 1ST FLOOR
VANCOUVER, BC V6A 1E1
779 379 6761

NOTES
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ISSUED
DEVELOPMENT PERMIT

DATE
2024-05-15

REVISION
NO REVISION DATE

SEAL

CLIENT
Mark Anthony Group

Client Address
7400 North Vancouver Rd
Nanaimo, BC V9H 1N0

PROJECT
Water Street

MUNICIPAL ADDRESS: 1570-1580 Water Street
LEGAL ADDRESS: LOT 1,2,5 and 6, D.L. 139 OSOYOS DIVISION YALE DISTRICT PLAN KAP1355

DRAWING TITLE
BYLAW REVIEW & SITE PHOTOS

DRAWING INFORMATION

PROJECT NO: 23041

STARTED:

SCALE:

DRAWN:

CHECKED:

REVISION:

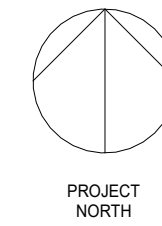
AS, CT, DT, TN

8/8/24

SHEET

1

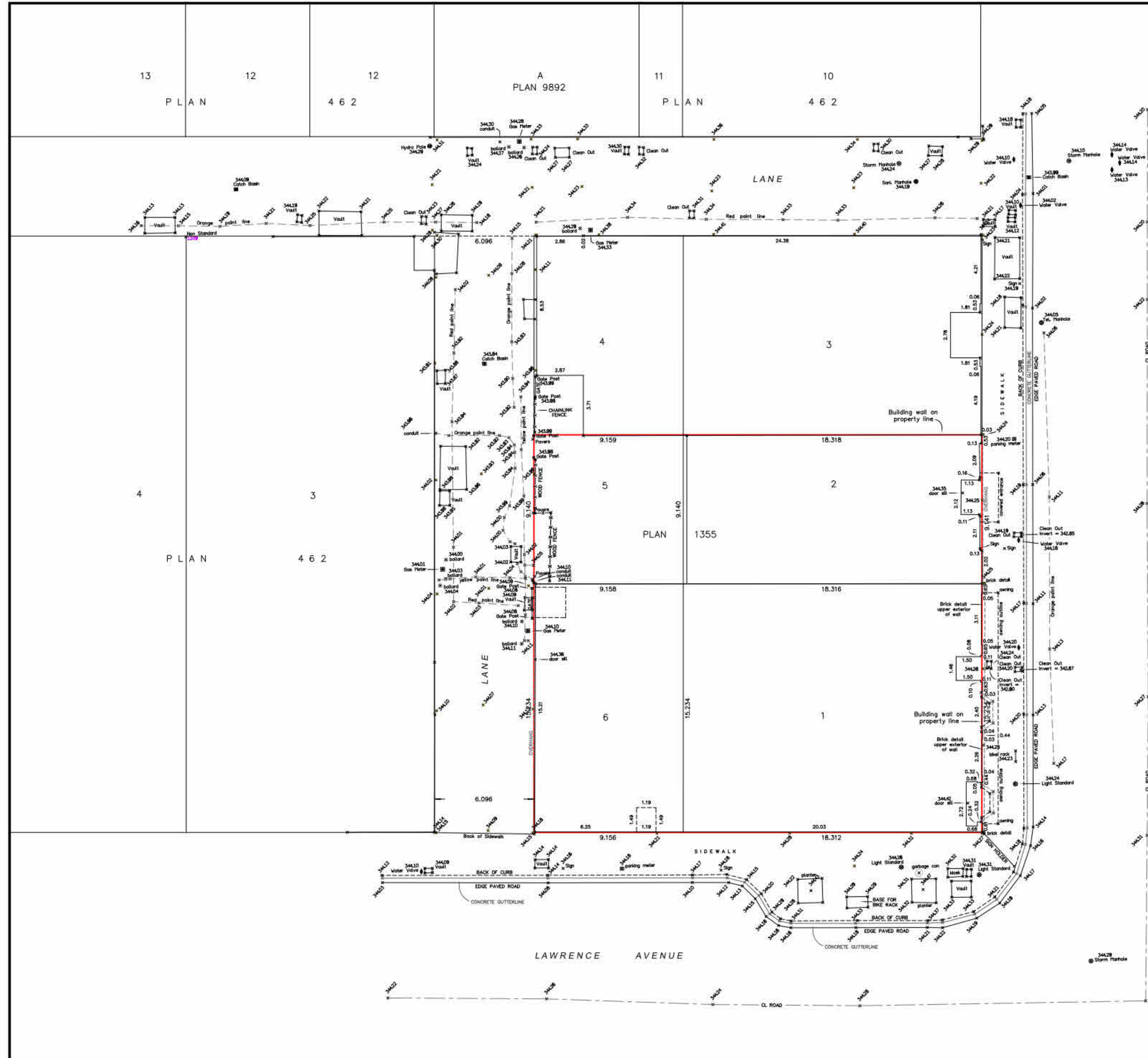
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SITE PLAN OF LOTS 1, 2, 5 AND 6, D.L. 139, OSOYOOS DIVISION YALE DISTRICT, PLAN 1355

SCALE: 1:125 (22"x34")
 DATE: December 17, 2019
 DWG: 15617 SITE
 FILE No: 15617



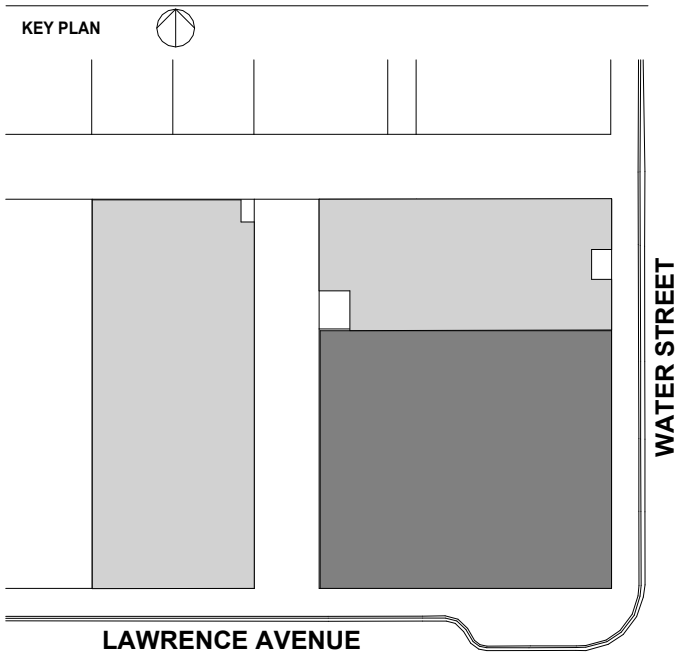
6
PLAN 462
BLOCK 14

CLIENT: FOX ARCHITECTURE

LEGEND:
 Red point = underground power
 Yellow point = underground gas
 Blue point = telus

Elevations are geodetic, based on ties to Kelowna integrated survey area monuments 95H1861 and 86H2381. CGVD 28 (HTV2.0)

Underground locations provided by others.



ISSUED	ISSUED	DATE
DEVELOPMENT PERMIT		2024-03-15

REVISION	NO	REVISION	DATE
----------	----	----------	------

SEAL

CLIENT
 Mark Anthony Group

Client Address
 7400 North Vancouver Rd
 Nanaimo, BC V9H 1Y0

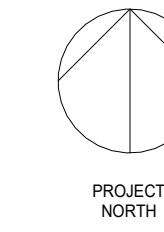
RUNNALLS DENBY
 british columbia land surveyors

259A Lawrence Avenue Kelowna, B.C. V1Y 6L2
 Phone: (250)763-7322 Fax: (250)763-4413
 Email: rob@runnallsdenby.com

PROJECT
 Water Street
 MUNICIPAL ADDRESS: 125-150 Water Street
 LEGAL ADDRESS: LOT 2, 5 AND 6, D.L. 139 OSOYOOS DIVISION
 KELOWNA, BC V1Y 1Z7
 YALE DISTRICT PLAN KAP1355

DRAWING TITLE
 SITE SURVEY

DRAWING INFORMATION	
PROJECT NO	23041
STARTED	
SCALE	NTS
DRAWN	AS, CT, OT, TN
CHECKED	BNW
REVISION	SHEET



SITE PLAN - GENERAL NOTES

PRIME CONSULTANT
mckinley studios
 552 - 110 north avenue sw | 412 - 611 alexander street
 victoria bc v8t 0t1 | victoria bc v8a 1e1
 402.225.2027 | 779.279.6763

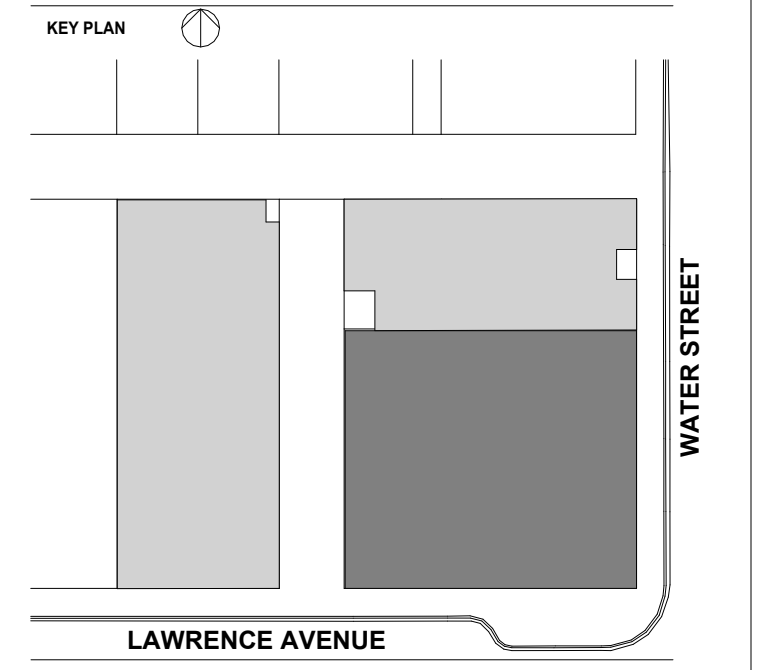
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SITE PLAN - KEY NOTES

- 01 PROPOSED ELECTRICAL TRANSFORMER. TBC WITH FORTIS.
- 02 EXISTING HISTORIC FACADE
- 03 EXISTING CURB CUT
- 04 EXISTING CURB
- 05 LIP OF GUTTER

SITE PLAN - LEGEND

- PROPOSED TEMPORARY FOOD/BEVERAGE AREA & VALET PARKING
- PROPOSED OUTDOOR PATIO / SEATING AREA
- PROPERTY LINE
- SETBACK
- EASEMENTS & COVENANTS
- FENCE
- OVERHEAD ELECTRICAL
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- STREET LIGHT
- MANHOLE
- UTILITY POLE



ISSUED		
ISSUED	DEVELOPMENT PERMIT	DATE
		2024-03-15

REVISION		
NO	REVISION	DATE

SEAL

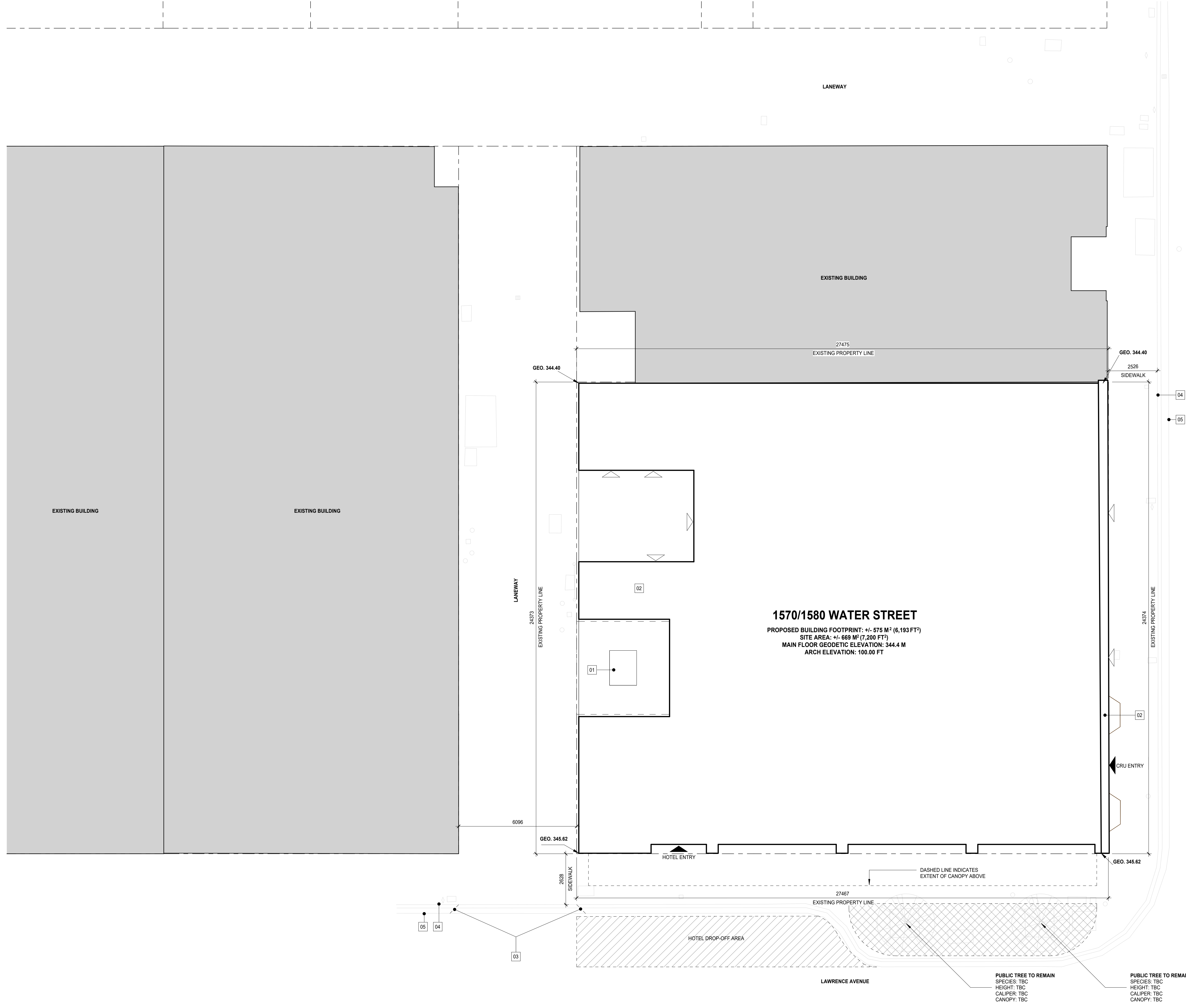
CLIENT
Mark Anthony Group

Client Address
 7460 North Vancouver Rd
 North Vancouver, BC V8H 1N0

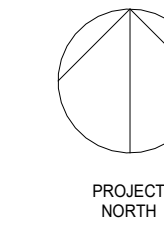
PROJECT
Water Street
 MUNICIPAL ADDRESS: 1270-1580 Water Street
 LEGAL ADDRESS: LOT 2, 3 and 4, S1, 139 0501058 DIVISION
 Ketchikan, BC V1Y 1J7
 YALE DISTRICT PLAN KAP1955

DRAWING TITLE
SITE PLAN

DRAWING INFORMATION
 PROJECT NO: 23041
 STARTED: [blank]
 SCALE: As indicated
 DRAWN: AS, CT, OT, TN
 CHECKED: BWS
 REVISION: [blank]
 SHEET: [blank]



01 DP12.00 | SITE PLAN
 1/8" = 1'-0"



FLOOR PLAN - GENERAL NOTES

- 1. EXTERIOR DIMENSIONS INDICATE FACE OF SREATHING OR FACE OF CONCRETE UNO. INTERIOR DIMENSIONS INDICATE FACE OF STUO OR CONCRETE UNO.
- 2. ALL COLUMN DIMENSIONS ARE TO CENTER LINE OF COLUMN UNO. REFER TO STRUCTURAL DRAWINGS FOR COLUMN SIZES.
- 3. LOCATE DOOR FRAMES 4" FROM NEAREST ADJACENT WALL UNO.

PRIME CONSULTANT
mckinley studios
 550 - 110 north avenue sw
 edmonton ab, t2p 0t1
 403 229 2027

412 - 611 denison street
 edmonton ab, t5a 1e1
 781 279 6761

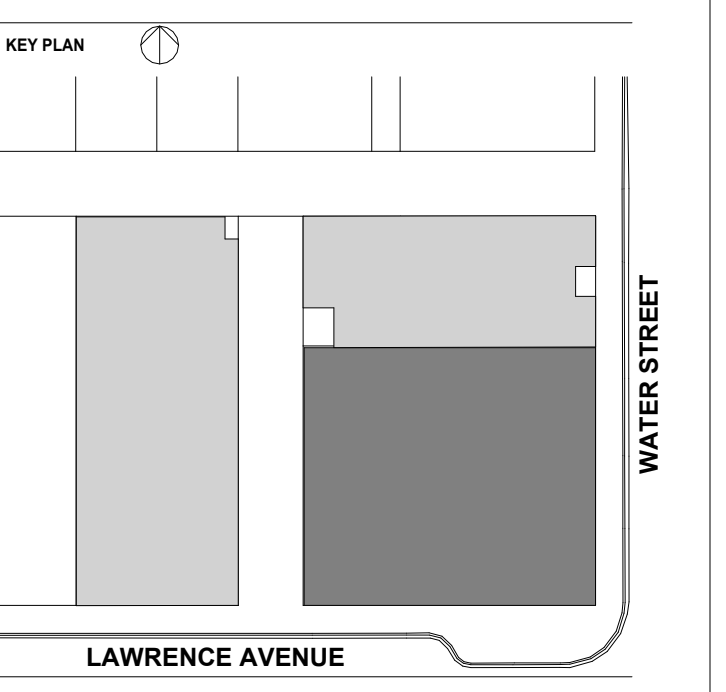
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FLOOR PLAN - KEY NOTES

- 01 ELECTRICAL TRANSFORMER
- 02 EXISTING HISTORIC FACADE

FLOOR PLAN - LEGEND

- MILLWORK
- PLANTING



ISSUED

ISSUED	DEVELOPMENT PERMIT	DATE
		2024-03-15

REVISION

NO	REVISION	DATE
01	DP41.00	

SEAL

CLIENT
 Mark Anthony Group

Client Address
 740 North Saskatchewan Rd
 Nanshan, BC V5H 1N0

PROJECT
 Water Street

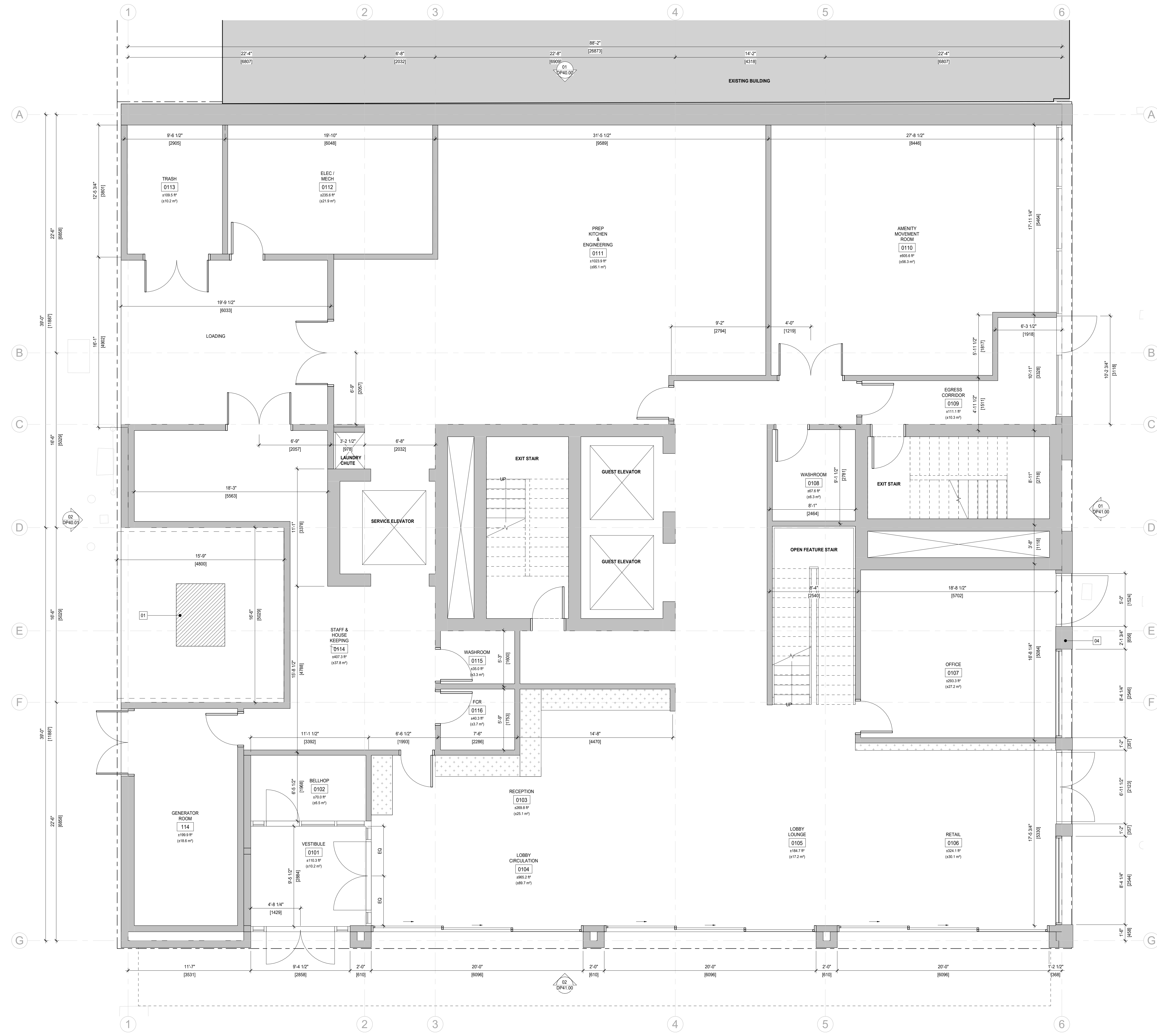
MUNICIPAL ADDRESS: 1215-1219 Water Street
 LEGAL ADDRESS: LOT 2, 3 and 4, 139 050105 DIVISION
 Kelowna, BC V1Y 1J7
 YALE DISTRICT PLAN KAP1955

GROUND FLOOR PLAN

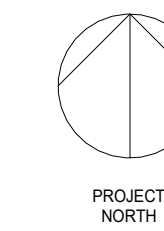
DRAWING INFORMATION

PROJECT NO	23041
STARTED	
SCALE	1/4" = 1'-0"
DRAWN	AS, CT, OT, TN
CHECKED	8866
REVISION	SHEET

1 **DP23.01**



01 DP23.01 GROUND FLOOR PLAN
 1/4" = 1'-0"



FLOOR PLAN - GENERAL NOTES

1. EXTERIOR DIMENSIONS INDICATE FACE OF SHEATHING OR FACE OF CONCRETE UNO. INTERIOR DIMENSIONS INDICATE FACE OF STUD OR CONCRETE UNO.
2. ALL COLUMN DIMENSIONS ARE TO CENTER LINE OF COLUMN UNO. REFER TO STRUCTURAL DRAWINGS FOR COLUMN SIZES.
3. LOCATE DOOR FRAMES FROM NEAREST ADJACENT WALL UNO.

555 - 110 north avenue sw
 cary, nc 27511
 412 - 611 alexander street
 roanoke, va 24011

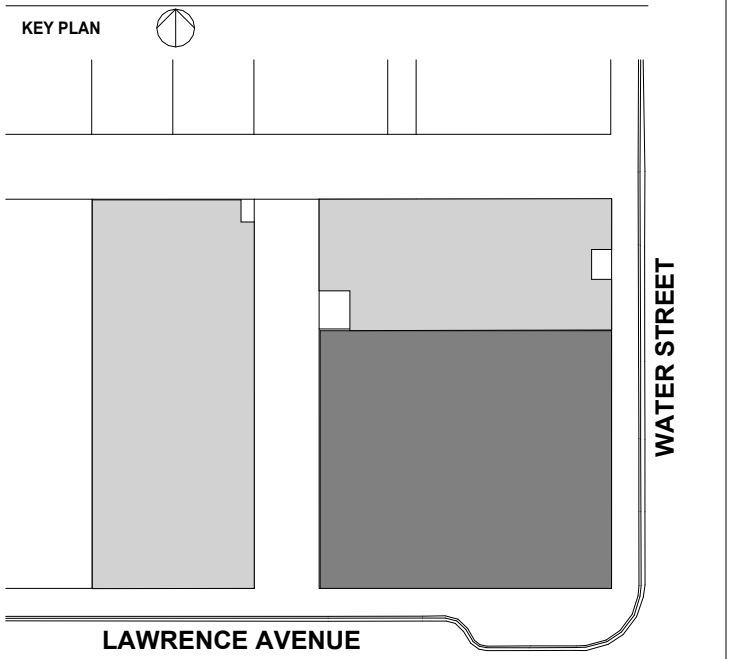
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FLOOR PLAN - KEY NOTES

- 01 ELECTRICAL TRANSFORMER
- 02 EXISTING HISTORIC FACADE

FLOOR PLAN - LEGEND

- MILLWORK
- PLANTING



ISSUED	ISSUED	DATE
DEVELOPMENT PERMIT		2024-03-15

REVISION	NO	REVISION	DATE

SEAL

CLIENT
 Mark Anthony Group

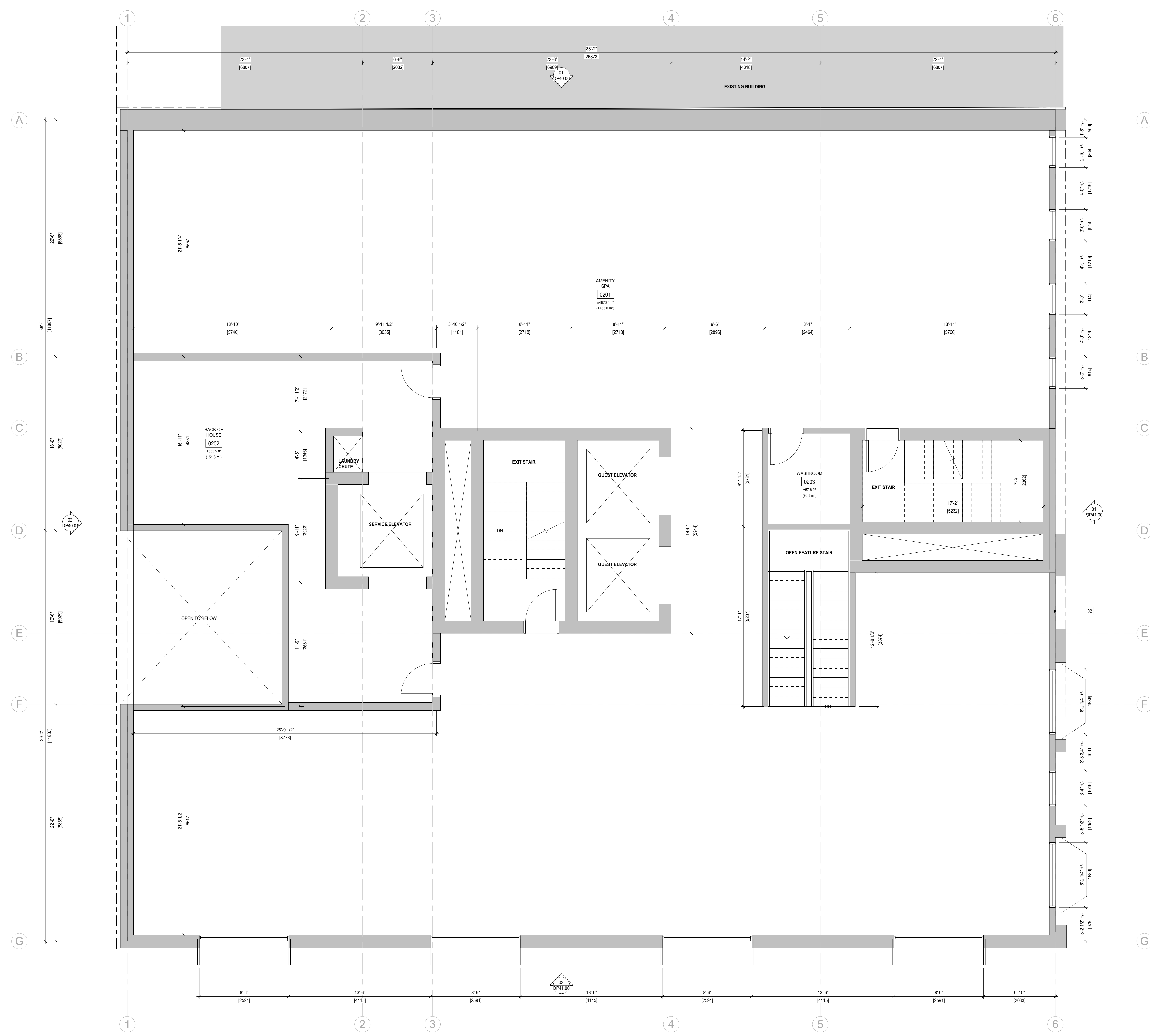
Client Address
 740 North Veterans Rd
 Nannasota, BC V8H 1N0

PROJECT
 Water Street
 MUNICIPAL ADDRESS: 1275-1280 Water Street
 LEGAL ADDRESS: LOT 2.3 and 01-139 050105 DIVISION YALE DISTRICT PLAN KAP1955

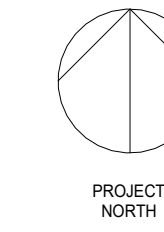
DRAWING TITLE
 LEVEL 2 FLOOR PLAN

DRAWING INFORMATION
 PROJECT NO: 23041
 STARTED: 2024-03-01
 SCALE: 1/4" = 1'-0"
 DRAWN: AD, CT, TN
 CHECKED: BWS

REVISION SHEET



01 DP23.02 | LEVEL 2 FLOOR PLAN
 1/4" = 1'-0"



PROJECT NORTH

FLOOR PLAN - GENERAL NOTES

1. EXTERIOR DIMENSIONS INDICATE FACE OF SHEATHING OR FACE OF CONCRETE UNO. INTERIOR DIMENSIONS INDICATE FACE OF STUO OR CONCRETE UNO.
2. ALL COLUMN DIMENSIONS ARE TO CENTER LINE OF COLUMN UNO. REFER TO STRUCTURAL DRAWINGS FOR COLUMN SIZES.
3. LOCATE DOOR FRAMES 4" FROM NEAREST ADJACENT WALL UNO.

PRIME CONSULTANT
mckinley studios

555 - 110 north avenue sw
 cary, nc 27513
 412 - 611 alexander street
 richmond, va 23219

NOTES
 DO NOT SCALE DRAWINGS. REQUEST VERIFICATION OF DIMENSIONS AS REQUIRED.
 THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL LEVELS, DATUMS AND DIMENSIONS AND SHALL REPORT ANY AND ALL ERRORS AND/OR OMISSIONS TO THE PRIME CONSULTANT IMMEDIATELY.
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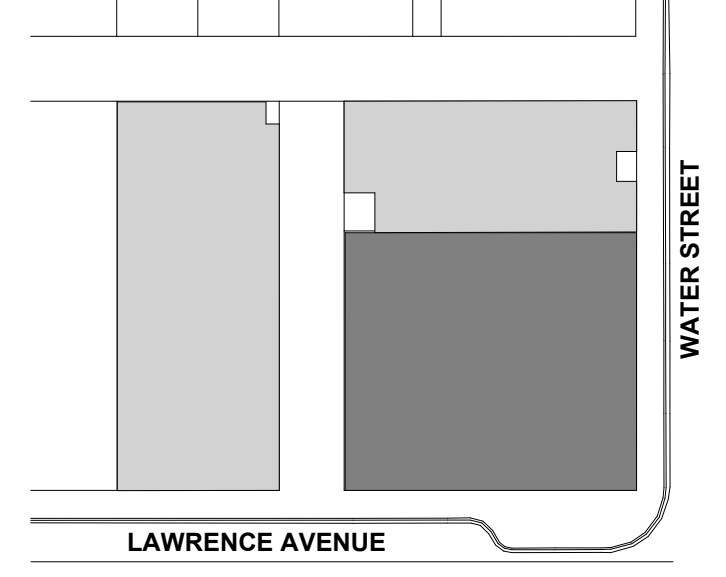
FLOOR PLAN - KEY NOTES

- 01 ELECTRICAL TRANSFORMER
- 02 EXISTING HISTORIC FACADE

FLOOR PLAN - LEGEND

- MILLWORK
- PLANTING

KEY PLAN



ISSUED
 DEVELOPMENT PERMIT

DATE
 2024-03-15

REVISION
 NO REVISION DATE

SEAL

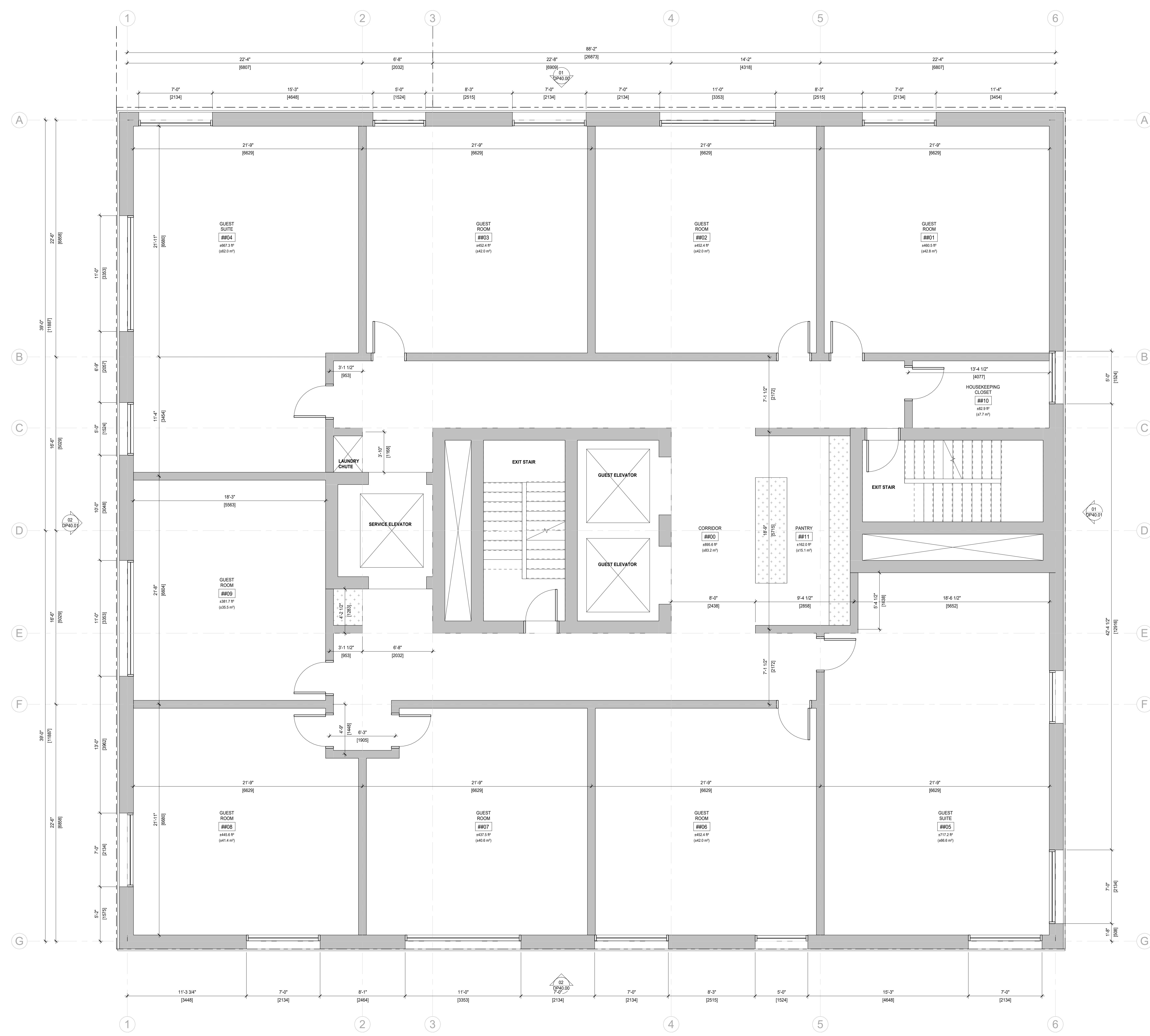
CLIENT
Mark Anthony Group

Client Address
 740 North Veterans Rd
 Nanamoka, NC 27810

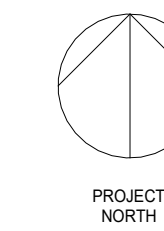
PROJECT
Water Street
 MUNICIPAL ADDRESS: 1251-1261 Water Street
 LEGAL ADDRESS: LOT 2.3, AND 01, 139 OSBOYOS DIVISION
 KAYE DISTRICT PLAN KAP1955

DRAWING TITLE
TYPICAL HOTEL FLOOR PLAN

DRAWING INFORMATION
 PROJECT NO: 23041
 STARTED: 1/24/24
 SCALE: 1/4" = 1'-0"
 DRAWN: AD, CT, TN
 CHECKED: BWS
 REVISION: SHEET



01 DP23.03 TYPICAL HOTEL FLOOR PLAN B
 1/4" = 1'-0"



PROJECT NORTH

FLOOR PLAN - GENERAL NOTES

1. EXTERIOR DIMENSIONS INDICATE FACE OF SHEATHING OR FACE OF CONCRETE UNO. INTERIOR DIMENSIONS INDICATE FACE OF STUO OR CONCRETE UNO.
2. ALL COLUMN DIMENSIONS ARE TO CENTER LINE OF COLUMN UNO. REFER TO STRUCTURAL DRAWINGS FOR COLUMN SIZES.
3. LOCATE DOOR FRAMES 4" FROM NEAREST ADJACENT WALL UNO.

PRIME CONSULTANT

mckinley studios

550 - 110 north avenue sw
 victoria bc v8t 0t1
 250.622.2027

412 - 611 alexander street
 vancouver bc v6a 1e1
 779.279.6761

NOTES

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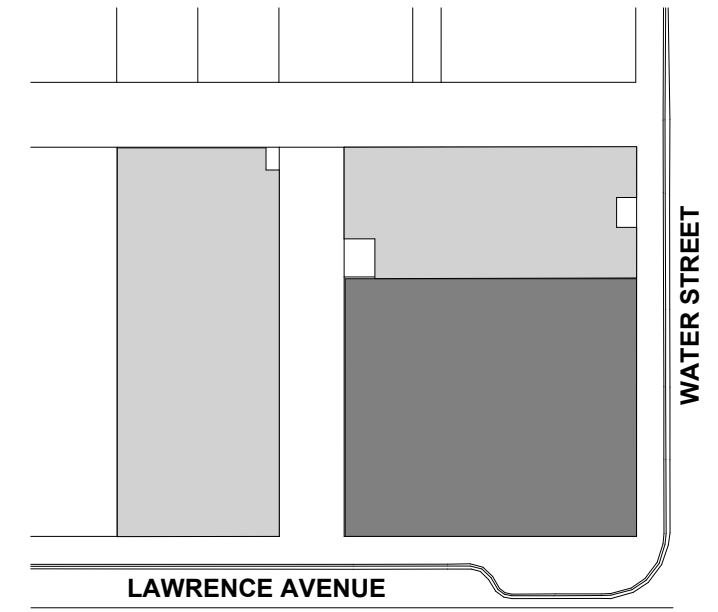
FLOOR PLAN - KEY NOTES

- 01 ELECTRICAL TRANSFORMER
- 02 EXISTING HISTORIC FACADE

FLOOR PLAN - LEGEND

- MILLWORK
- PLANTING

KEY PLAN



ISSUED: 2024-05-15
 DEVELOPMENT PERMIT

REVISION NO	REVISION	DATE

SEAL

CLIENT

Mark Anthony Group

Client Address
 740 North Vancouver Rd
 North Vancouver, BC V8H 1N0

PROJECT

Water Street

MUNICIPAL ADDRESS: 1215-1265 Water Street
 LEGAL ADDRESS: LOT 2.3 and 0.1, 139 OSOYOS DIVISION
 KILBURN, BC V1V 1J7
 YALE DISTRICT PLAN KAP1955

DRAWING TITLE

LEVEL 11 FLOOR PLAN

DRAWING INFORMATION

PROJECT NO: 23041

STARTED:

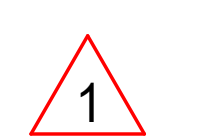
SCALE: 1/4" = 1'-0"

DRAWN: AD, GT, TN

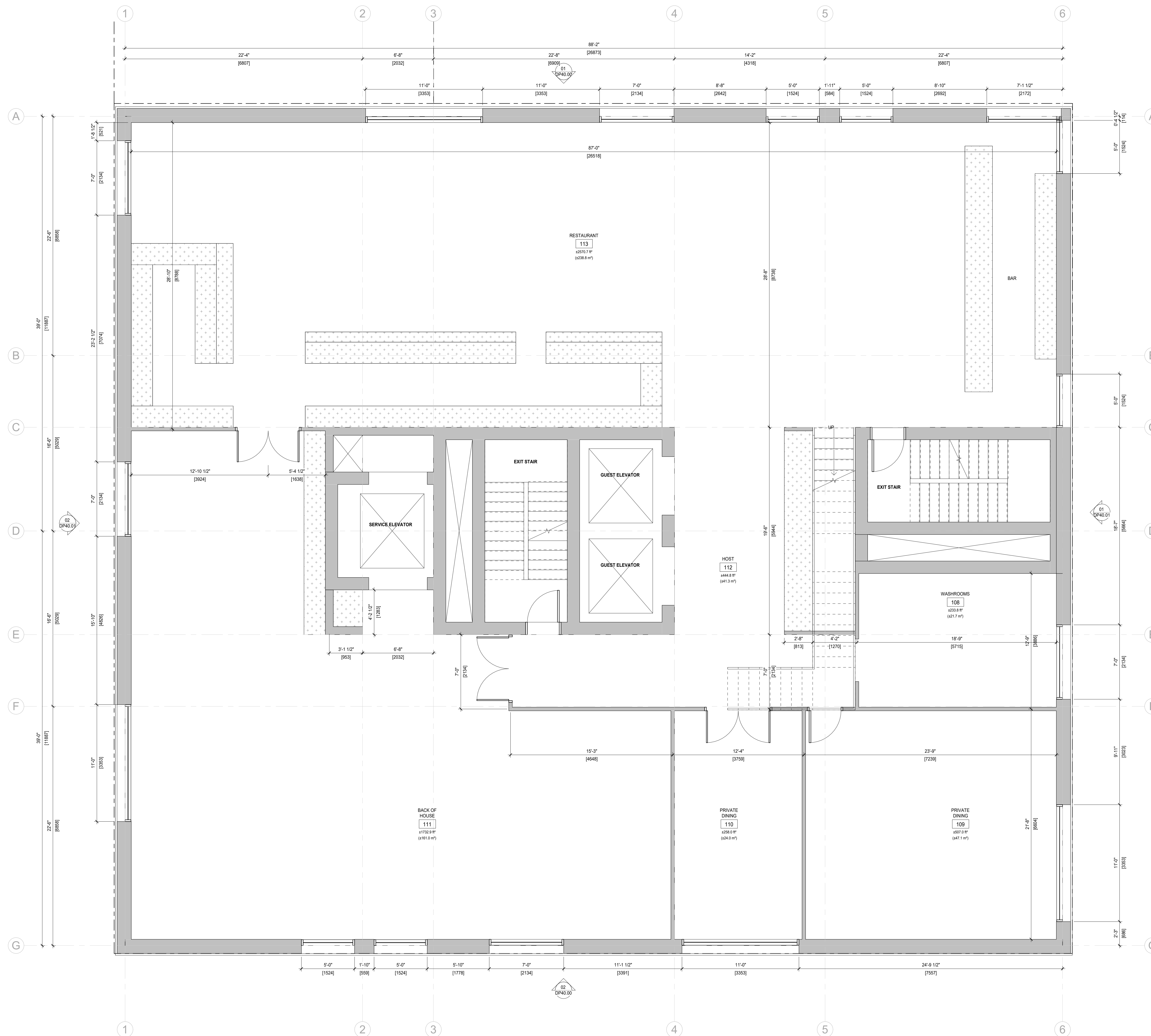
CHECKED: BWA

REVISION:

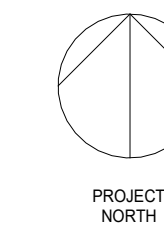
SHEET:



DP23.07



01 DP23.07 LEVEL 11 FLOOR PLAN
 1/4" = 1'-0"



FLOOR PLAN - GENERAL NOTES

1. EXTERIOR DIMENSIONS INDICATE FACE OF SHEATHING OR FACE OF CONCRETE UNO. INTERIOR DIMENSIONS INDICATE FACE OF STUD OR CONCRETE UNO.
2. ALL COLUMN DIMENSIONS ARE TO CENTER LINE OF COLUMN UNO. REFER TO STRUCTURAL DRAWINGS FOR COLUMN SIZES.
3. LOCATE DOOR FRAMES 4" FROM NEAREST ADJACENT WALL UNO.

PRIME CONSULTANT

mckinley studios

550 - 110 north avenue sw
calgary ab, t2p 0t1
403 225 2027

412 - 611 denison street
vancouver bc, v6a 1e1
779 279 6761

NOTES

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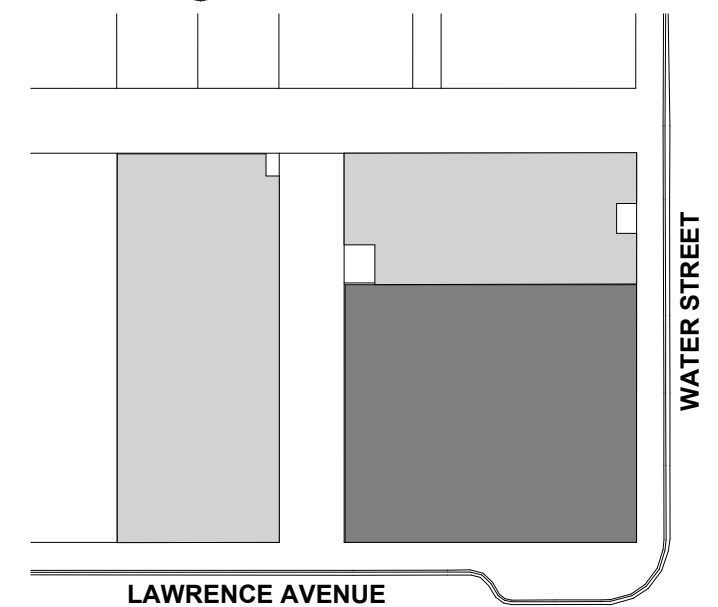
FLOOR PLAN - KEY NOTES

- 01 ELECTRICAL TRANSFORMER
- 02 EXISTING HISTORIC FACADE

FLOOR PLAN - LEGEND

- MILLWORK
- PLANTING

KEY PLAN



ISSUED
DEVELOPMENT PERMIT

DATE
2024-05-15

REVISION
NO REVISION DATE

SEAL

CLIENT

Mark Anthony Group

Client Address
740 North Vancouver Rd
Northwest, BC V3H 1Y0

PROJECT

Water Street

MUNICIPAL ADDRESS
1215-1265 Water Street

LEGAL ADDRESS
LOT 2, 3 AND 6, 01-139 050105 DIVISION
YALE DISTRICT PLAN KAP1955

DRAWING TITLE

LEVEL 12 TERRACE PLAN

DRAWING INFORMATION

PROJECT NO
23041

STARTED

SCALE
1/4" = 1'-0"

DRAWN
AS, CT, TN

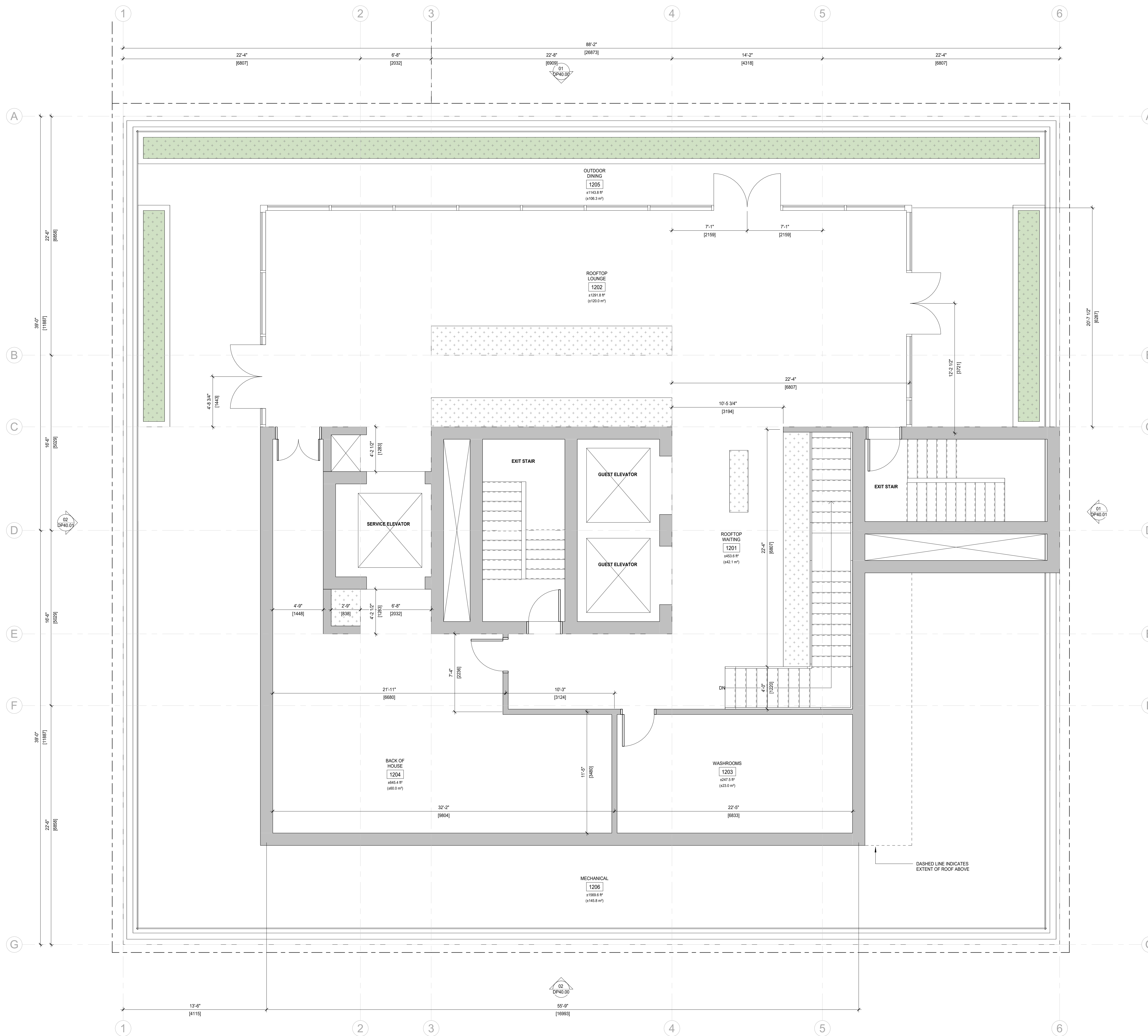
CHECKED
BWS

REVISION

SHEET

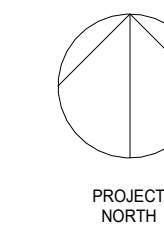


DP23.08



01 DP23.08 | LEVEL 12 TERRACE PLAN

1/4" = 1'-0"



FLOOR PLAN - GENERAL NOTES

1. EXTERIOR DIMENSIONS INDICATE FACE OF SHEATHING OR FACE OF CONCRETE UNO. INTERIOR DIMENSIONS INDICATE FACE OF STUD OR CONCRETE UNO.
2. ALL COLUMN DIMENSIONS ARE TO CENTER LINE OF COLUMN UNO. REFER TO STRUCTURAL DRAWINGS FOR COLUMN SIZES.
3. LOCATE DOOR FRAMES 4" FROM NEAREST ADJACENT WALL UNO.

PRIME CONSULTANT

mckinley studios

550 - 110 north avenue sw
calgary ab, t2p 0t1
403 229 2207

412 - 611 alexander street
vancouver bc, v6a 1e1
779 279 6763

NOTES

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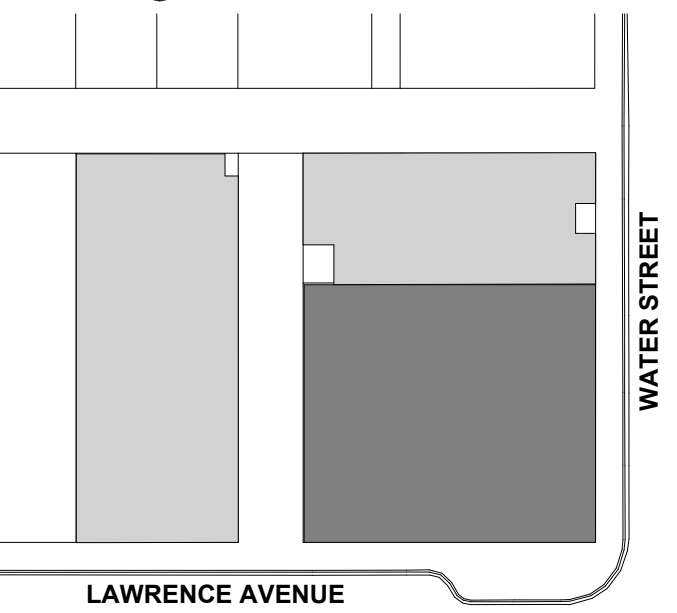
FLOOR PLAN - KEY NOTES

- 01 ELECTRICAL TRANSFORMER
- 02 EXISTING HISTORIC FACADE

FLOOR PLAN - LEGEND

- MILLWORK
- PLANTING

KEY PLAN



ISSUED	ISSUED	DATE
DEVELOPMENT PERMIT		2024-05-15

REVISION	NO	REVISION	DATE

SEAL

CLIENT

Mark Anthony Group

Client Address
740 North Transcona Rd
Naramata, BC V0H 1Y0

PROJECT

Water Street

MUNICIPAL ADDRESS: 1275-128 Water Street
LEGAL ADDRESS: LOT 2, 3 and 4, 139 OSOYOOS DIVISION
Kootenay, BC V1Y 1J7
YALE DISTRICT PLAN KAP1955

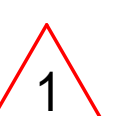
DRAWING TITLE

ROOF PLAN

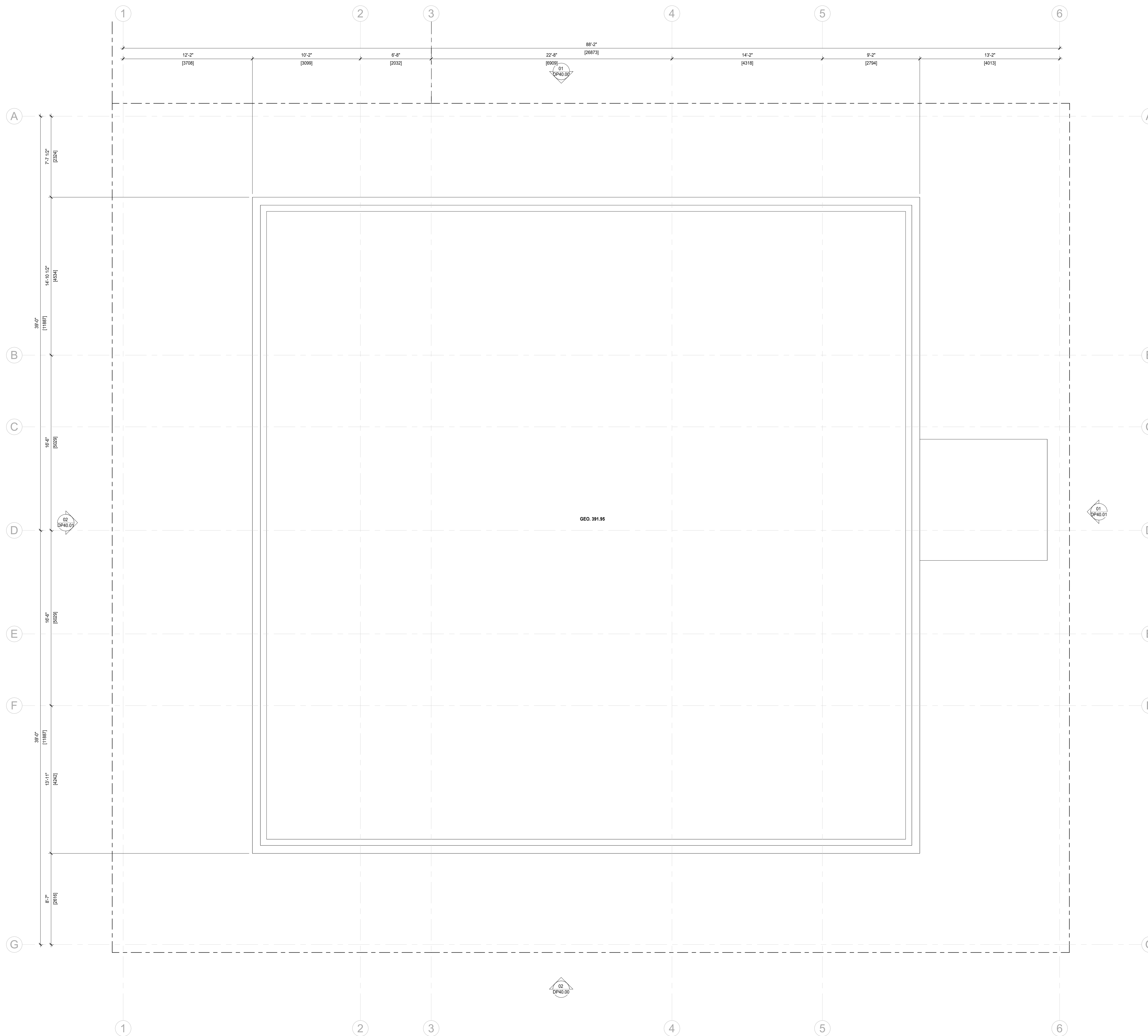
DRAWING INFORMATION

PROJECT NO: 23041
STARTED:
SCALE: 1/4" = 1'-0"
DRAWN: AD, CT, TN
CHECKED: BWS

REVISION SHEET



DP23.09

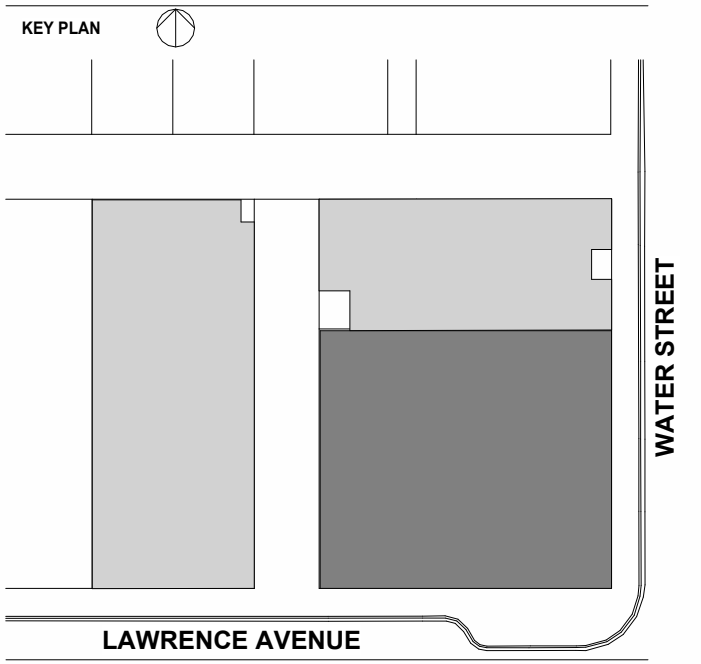


01 DP23.09 ROOF PLAN
1/4" = 1'-0"

NOTES
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EXTERIOR ELEVATION - KEY NOTES

- 01 EXISTING HISTORIC FACADE.
- 02 BRICK CLADDING. COLOUR: TO MATCH EXISTING HISTORIC FACADE.
- 03 TERRAZZOTA CLADDING. COLOUR: RED.
- 04 METAL. COLOUR: RED.
- 05 CURTAIN WALL. FRAME COLOUR: RED.
- 06 FRAMELESS GLASS GUARDRAIL. CLEAR GLAZING.
- 07 NEW GLAZED ENTRY DOOR.
- 08 NEW GLAZING INFILL IN EXISTING FACADE.
- 09 WINDOW FRAME. COLOUR: RED.
- 10 ELECTRICAL TRANSFORMER. TO BE CONFIRMED WITH FORTIS.



ISSUED
 DEVELOPMENT PERMIT
 DATE: 2024-03-15

REVISION	NO	REVISION	DATE

SEAL

CLIENT
 Mark Anthony Group

CLIENT ADDRESS
 740 West Vancouver Rd
 Vancouver, BC V6H 1Y0

PROJECT
 Water Street

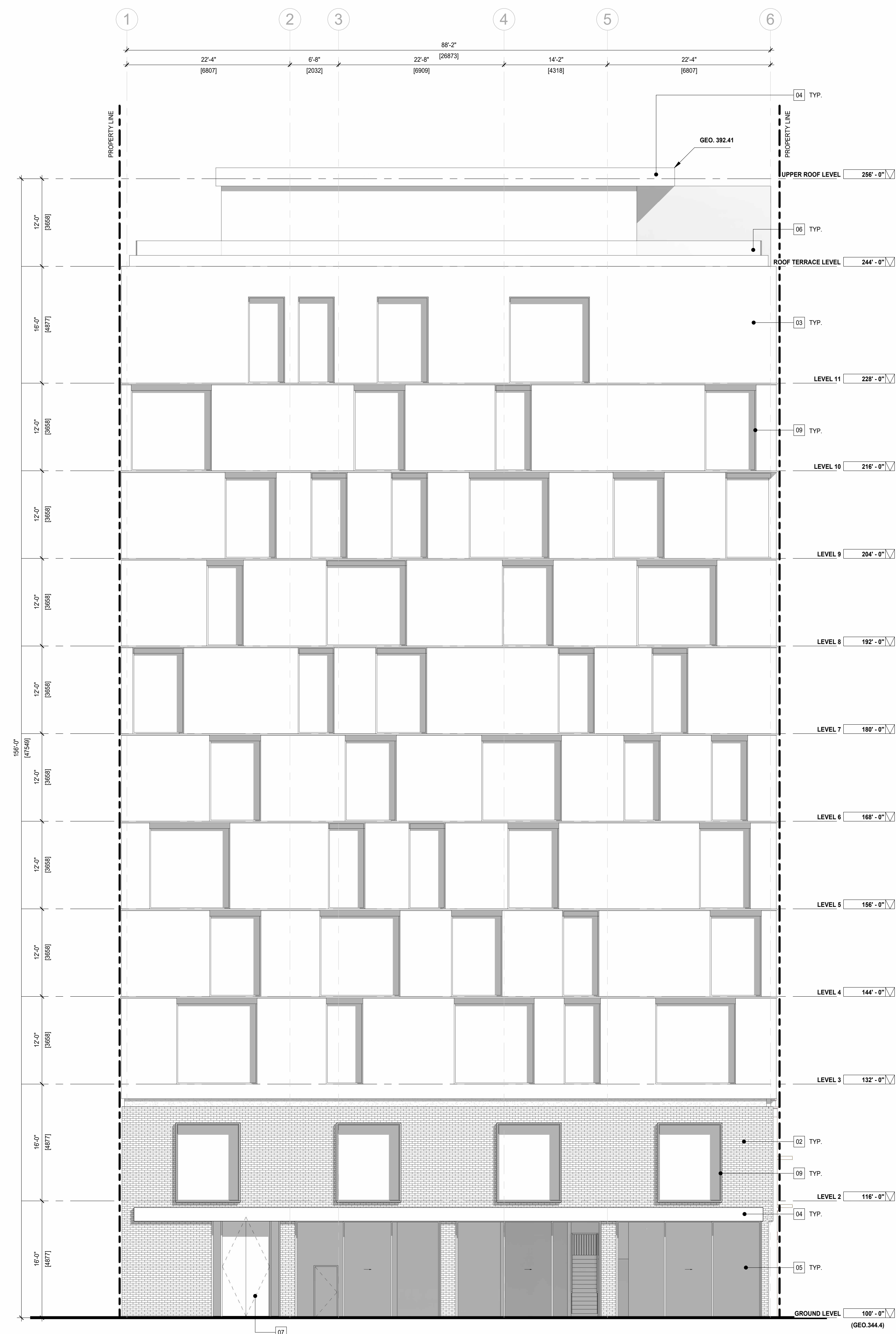
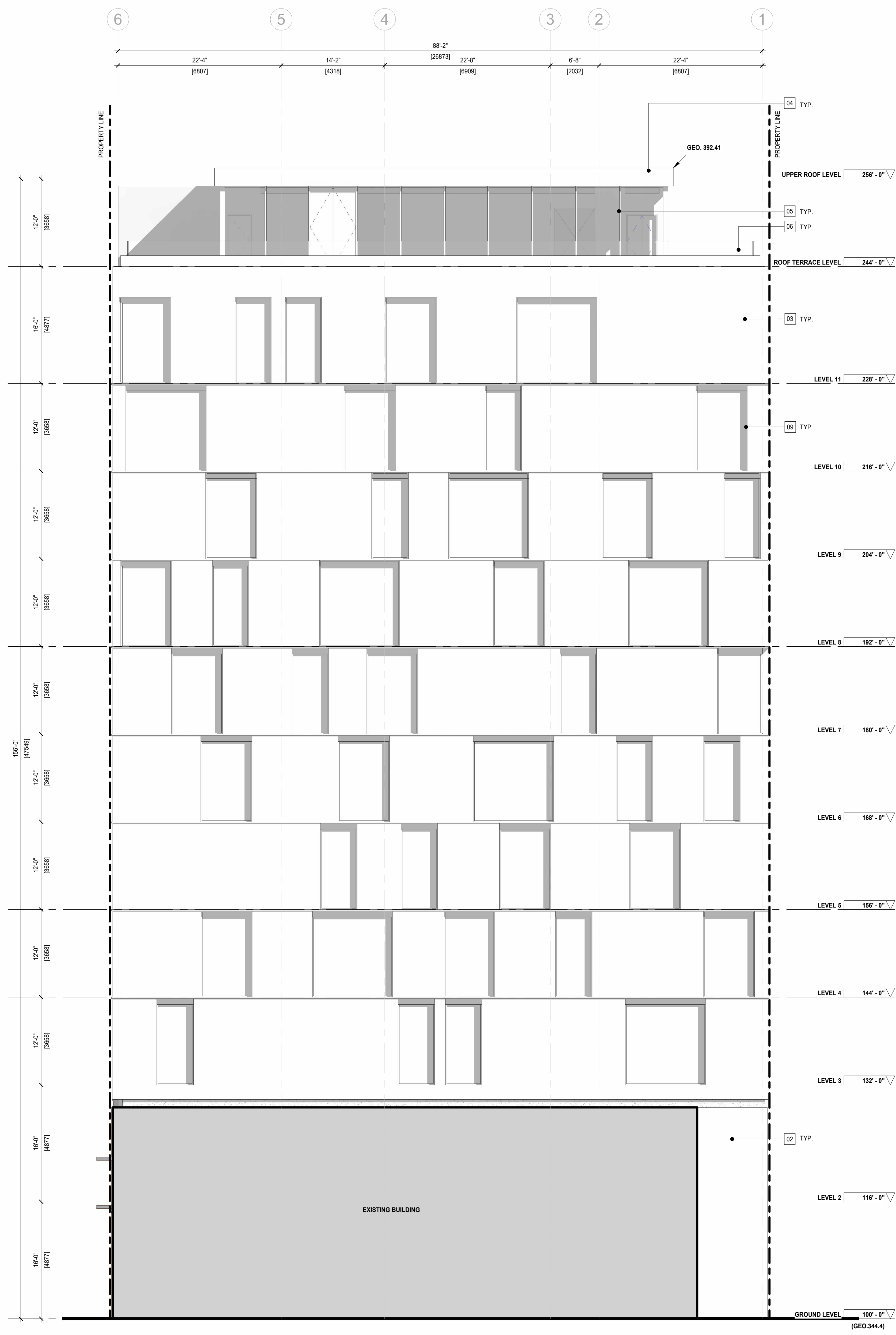
MUNICIPAL ADDRESS
 125-150 Water Street
 Ketchikan, BC V1Y 1J7

LEGAL ADDRESS
 LOT 2, 2, 3 and 4, 139 OSOYOS DIVISION
 YALE DISTRICT PLAN KAP195

DRAWING TITLE
 EXTERIOR ELEVATIONS

DRAWING INFORMATION
 PROJECT NO: 23041
 STARTED: 18" x 11"
 SCALE: AS, CT, DT, TN
 DRAWN: BWS
 CHECKED: BWS

REVISION
 SHEET



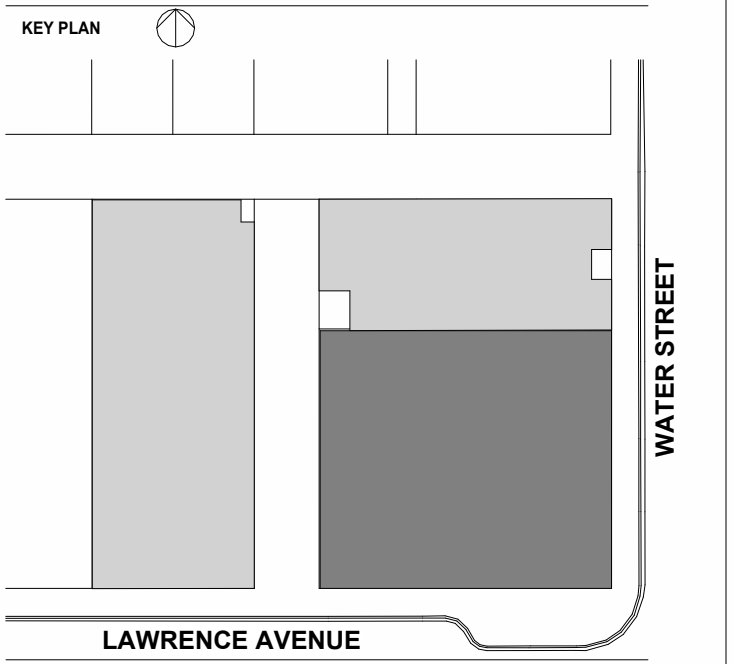
01 DP40.00 NORTH ELEVATION
 1/8" = 1'-0"

02 DP40.00 SOUTH ELEVATION
 1/8" = 1'-0"

NOTES
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EXTERIOR ELEVATION - KEY NOTES

- 01 EXISTING HISTORIC FACADE.
- 02 BRICK CLADDING. COLOUR: TO MATCH EXISTING HISTORIC FACADE.
- 03 TERRAZZOTA CLADDING. COLOUR: RED.
- 04 METAL. COLOUR: RED.
- 05 CURTAIN WALL. FRAME COLOUR: RED.
- 06 FRAMELESS GLASS GUARDRAIL. CLEAR GLAZING.
- 07 NEW GLAZED ENTRY DOOR.
- 08 NEW GLAZING INFILL IN EXISTING FACADE.
- 09 WINDOW FRAME. COLOUR: RED.
- 10 ELECTRICAL TRANSFORMER. TO BE CONFIRMED WITH FORTIS.



ISSUED
 DEVELOPMENT PERMIT
 DATE
 2024-03-15

REVISION	NO	REVISION	DATE

SEAL

CLIENT
Mark Anthony Group

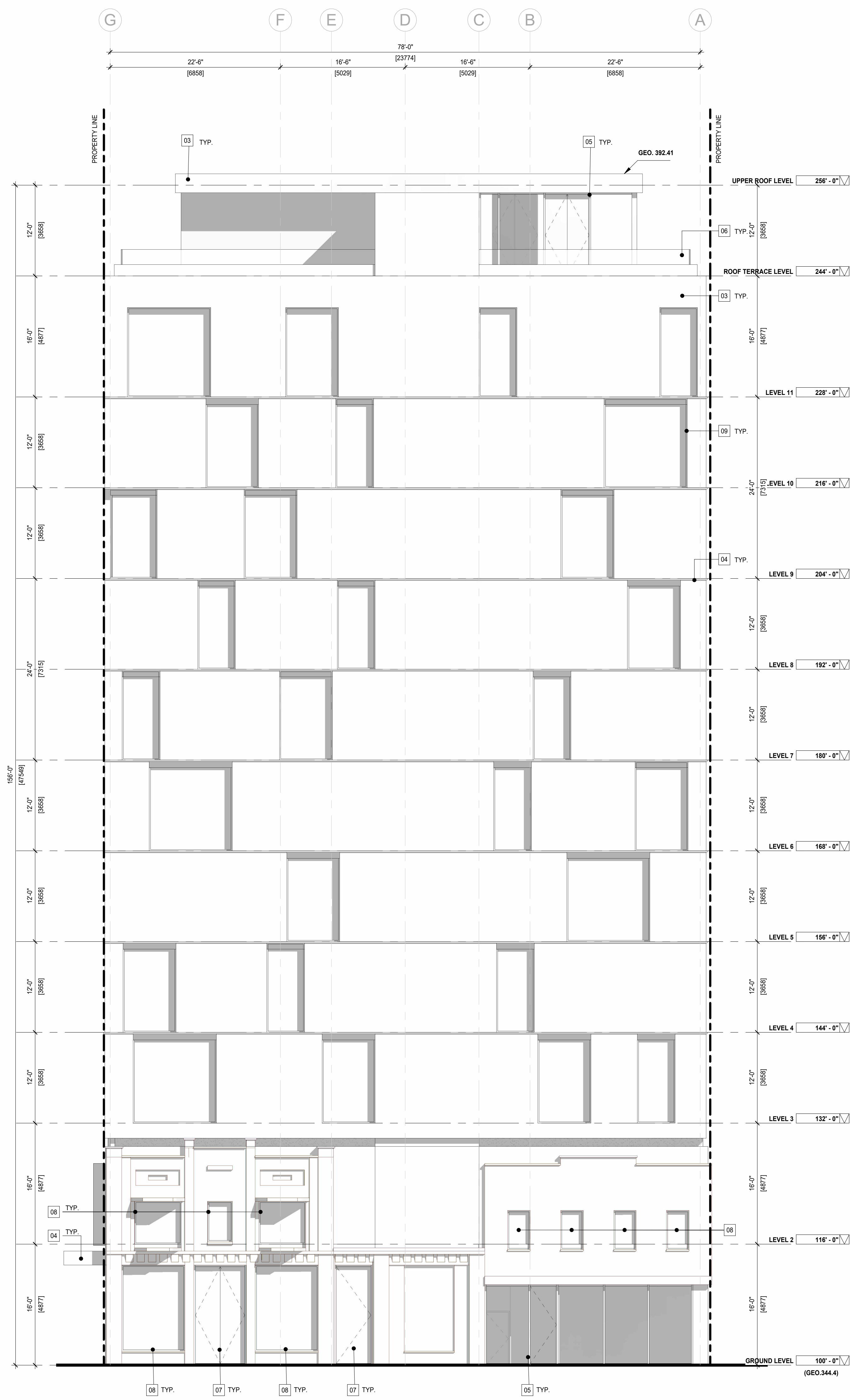
Client Address
 740 North Vancouver Rd
 Nanaimo, BC V9H 1Y0

PROJECT
Water Street

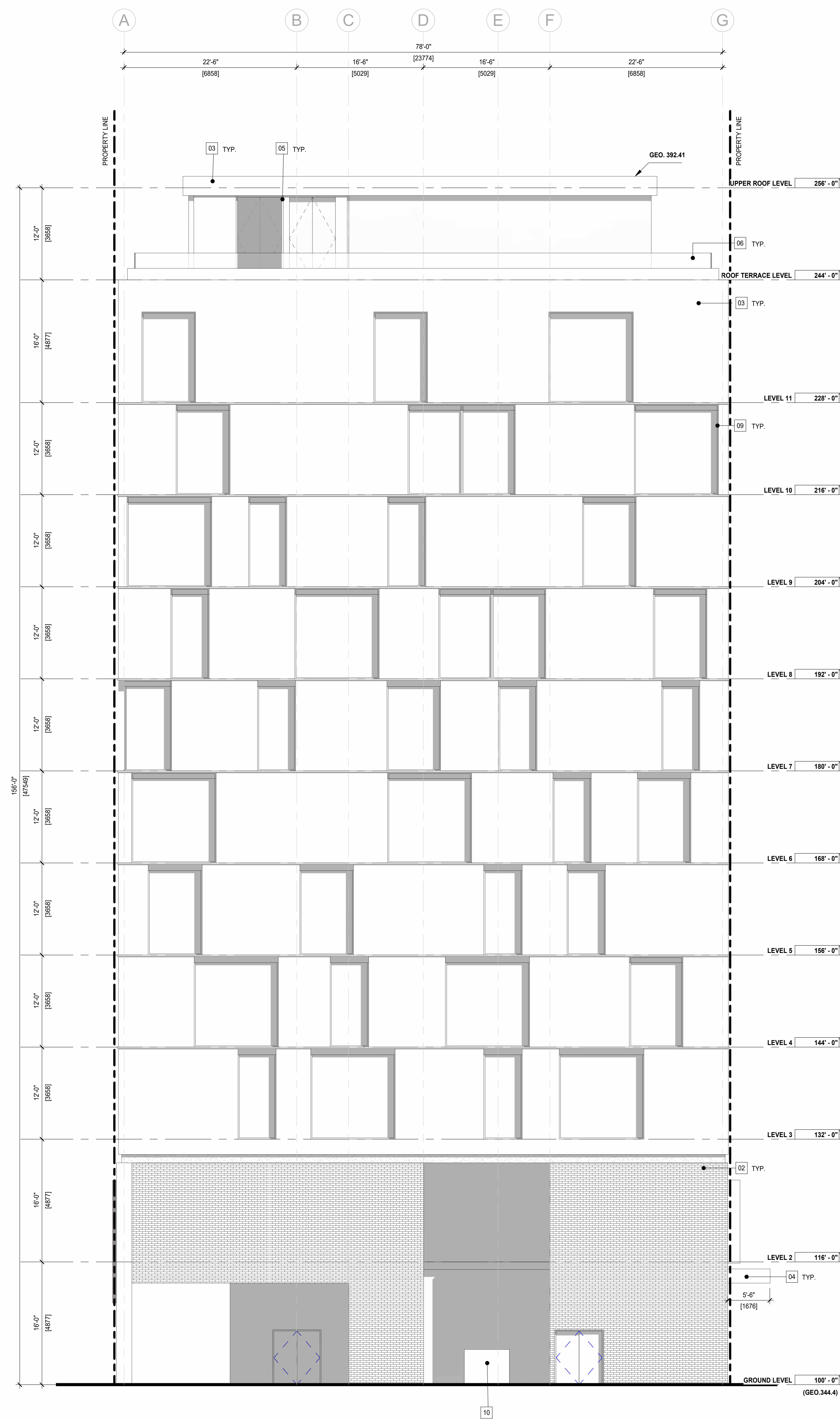
MUNICIPAL ADDRESS
 125-150 Water Street
 LEGAL ADDRESS
 LOT 2, 2.5 and 3.1, 139 OSOYOOS DIVISION
 Ketchikan, BC V1Y 1J7

DRAWING TITLE
EXTERIOR ELEVATIONS

DRAWING INFORMATION
 PROJECT NO
 23041
 STARTED
 SCALE
 1/8" = 1'-0"
 DRAWN
 AD, CT, GT, TN
 CHECKED
 BWS
 REVISION
 SHEET



01 DP40.01 EAST ELEVATION
 1/8" = 1'-0"



02 DP40.01 WEST ELEVATION
 1/8" = 1'-0"

EXTERIOR ELEVATION - GENERAL NOTES

PRIME CONSULTANT
mckinley studios

555 - 110 north avenue sw
 VANCOUVER BC V6P 0T1
 602 225 2027

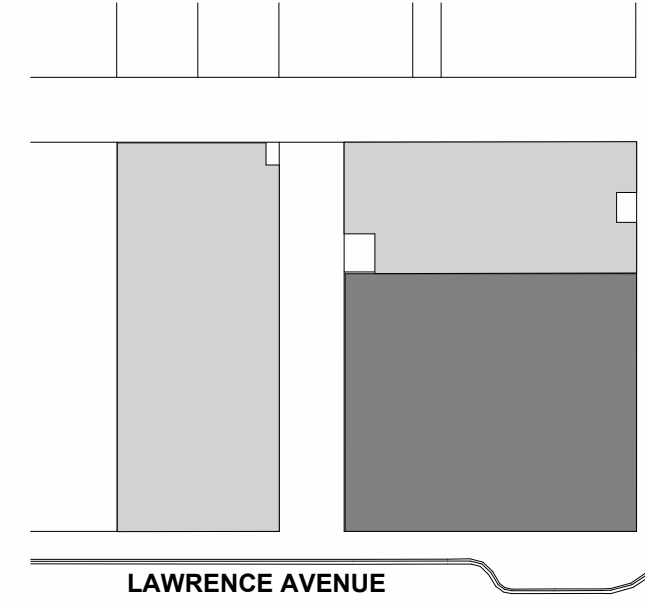
412 - 611 alexander street
 VANCOUVER BC V6A 1E1
 779 279 6761

NOTES
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EXTERIOR ELEVATION - KEY NOTES

- 01 EXISTING HISTORIC FACADE.
- 02 BRICK CLADDING. COLOUR: TO MATCH EXISTING HISTORIC FACADE.
- 03 TERRAZZOTA CLADDING. COLOUR: RED.
- 04 METAL. COLOUR: RED.
- 05 CURTAIN WALL. FRAME COLOUR: RED.
- 06 FRAMELESS GLASS GUARDRAIL. CLEAR GLAZING.
- 07 NEW GLAZED ENTRY DOOR.
- 08 NEW GLAZING INFILL IN EXISTING FACADE.
- 09 WINDOW FRAME. COLOUR: RED.
- 10 ELECTRICAL TRANSFORMER. TO BE CONFIRMED WITH FORTIS.

KEY PLAN



LAWRENCE AVENUE

ISSUED
 DEVELOPMENT PERMIT

DATE
 2024-03-15

REVISION

NO	REVISION	DATE

SEAL

CLIENT

Mark Anthony Group

Client Address
 7400 North Vancouver Rd
 North Vancouver, BC V8H 1N0

PROJECT

Water Street

MUNICIPAL ADDRESS: 127-135 Water Street
 REVISION: BC V1V 1J7

LEGAL ADDRESS: LOT 2, 2, 3 and 4, 139 OSOYOOS DIVISION
 REVISION: YALE DISTRICT PLAN KAP1955

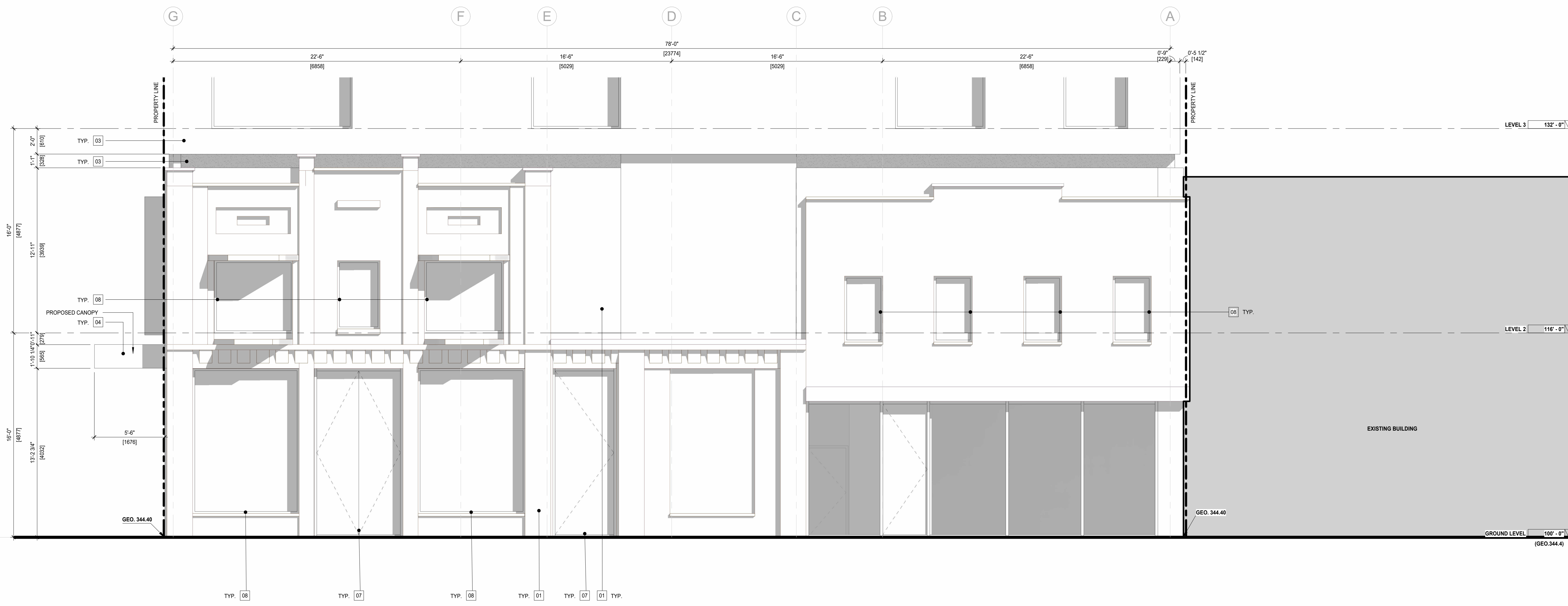
DRAWING TITLE

STREETSCAPE ELEVATIONS

DRAWING INFORMATION

PROJECT NO	23041
STARTED	As indicated
SCALE	AS, CT, TT
DRAWN	8916
CHECKED	8916
REVISION	SHEET

1 DP41.00



01 DP41.00 EAST ELEVATION - WATER STREET

1/4" = 1'-0"

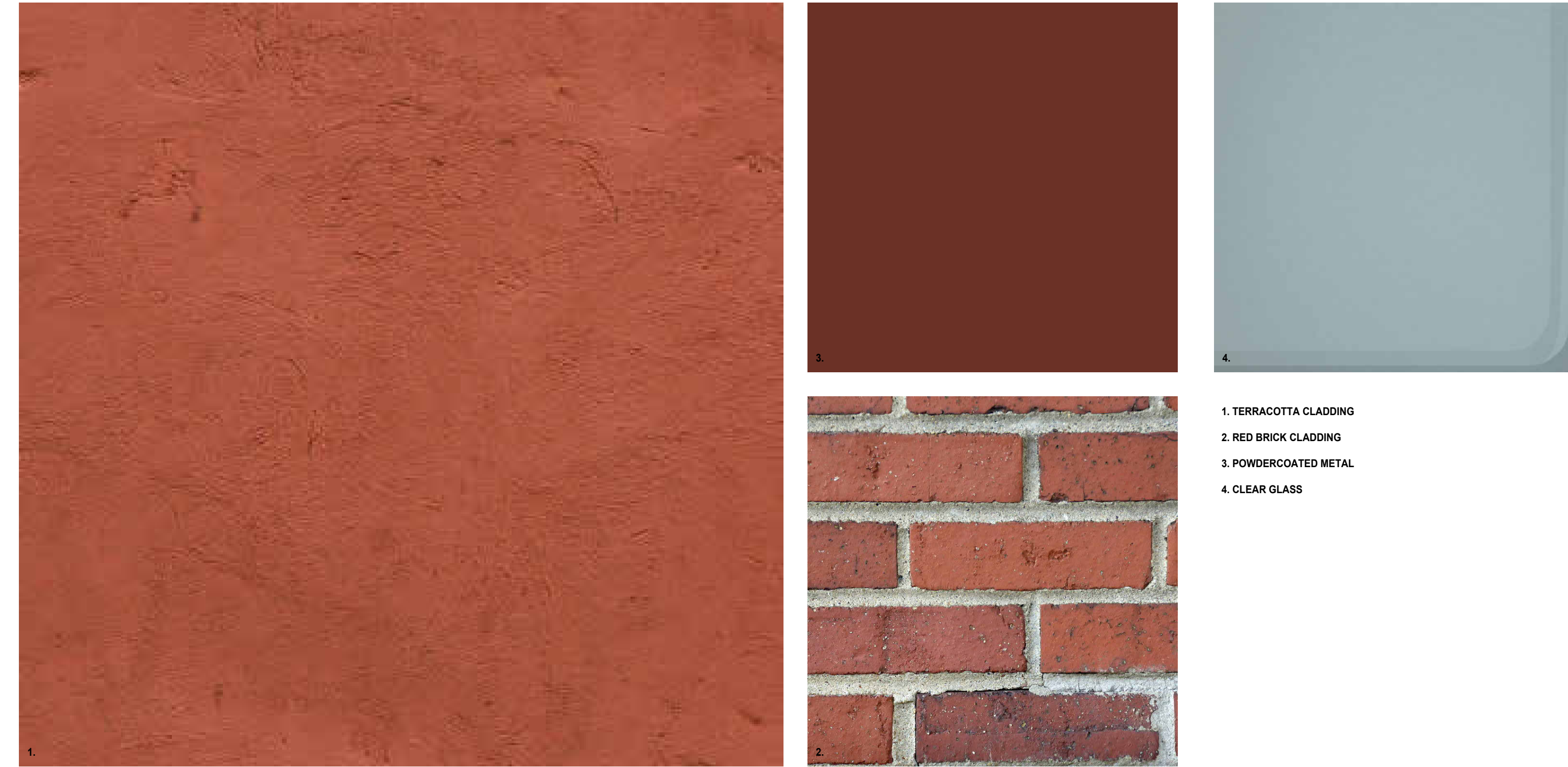


02 DP41.00 SOUTH ELEVATION - LAWRENCE AVENUE

1/4" = 1'-0"



BUILDING ELEVATION

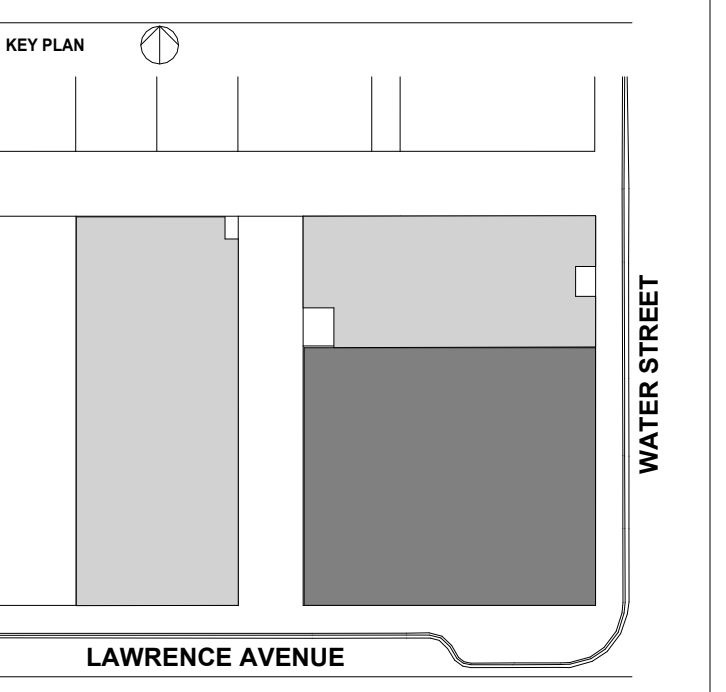


- 1. TERRACOTTA CLADDING
- 2. RED BRICK CLADDING
- 3. POWDERCOATED METAL
- 4. CLEAR GLASS

555 - 110 north avenue sw
columbus, GA 31901
404.229.2027

412 - 611 grandview street
pittsburgh, PA 15213
724.779.6761

NOTES
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ISSUED	ISSUED	DATE
DEVELOPMENT PERMIT		2024-05-15

REVISION	NO	REVISION	DATE
----------	----	----------	------

SEAL

CLIENT
Mark Anthony Group

Client Address
7400 North Transoms Rd
Narasara, BC V3H 1Y0

PROJECT
Water Street

MUNICIPAL ADDRESS: 1275-1280 Water Street
LEGAL ADDRESS: LOT 2, 2.6 acres 0.1, 139 OSOYOS DIVISION
KALAMAZOO, MI 49001
YALE DISTRICT PLAN KAP1955

DRAWING TITLE
RENDERINGS & MATERIAL PALETTE

DRAWING INFORMATION

PROJECT NO	23041
STARTED	
SCALE	
DRAWN	AS, CT, DT, TN
CHECKED	BN
REVISION	SHEET